

# MASTER-PRELIMINARY PLAN SUBMISSION

FOR

# HAMPTON PLACE - FULL BUILD

PLAT 50-4, LOT 24

TOWER HILL ROAD

SOUTH KINGSTOWN, RHODE ISLAND

ZONING DISTRICT: SMD

ROUTE 1 SPECIAL MANAGEMENT DISTRICT



**LOCATION MAP**  
NOT TO SCALE

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### OWNER / APPLICANT

CHATHAM PROPERTIES, LLC  
c/o JOHN HADDAD  
2790 SOUTH COUNTY TRAIL  
EAST GREENWICH, RHODE ISLAND

### ENGINEERS and LAND SURVEYORS



- Civil
- Transportation
- Environmental
- Site Planning
- Landscape Architecture
- Land Surveying

### CROSSMAN ENGINEERING

151 Centerville Road | Warwick, Rhode Island 02886  
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### ARCHITECT



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### LANDSCAPE ARCHITECT



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## REVISIONS:

No.:	DATE:	DESCRIPTION:
1	06/03/14	LANDSCAPING AND DRIVEWAY
2	06/20/14	PLANNING BOARD COMMENTS
3	06/27/14	TRC COMMENTS
4	07/23/14	SNOW AND LANDSCAPING
5	09/04/14	PLANNING BOARD COMMENTS
6	03/04/15	LAYOUT CHANGES
7	04/03/15	PROPOSED SIGN & LANDSCAPING

MAY 2014  
SHEET 1 of 20

**GENERAL NOTES**

- ALL EXISTING UTILITIES HAVE BEEN PLOTTED BASED UPON BEST AVAILABLE INFORMATION AND REPRESENT APPROXIMATE LOCATIONS. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING DRAINAGE & UTILITIES, BOTH UNDERGROUND AND OVERHEAD, BEFORE EXCAVATION BEGINS IN ACCORDANCE WITH "DIG SAFE PROGRAM LAW" ENACTED BY THE R.I. LEGISLATURE AND BY CONTACTING THE INDIVIDUAL UTILITY COMPANIES. EXCAVATION SHALL BE IN ACCORDANCE WITH ALL STATUTES, ORDINANCES, RULES AND REGULATIONS OF ANY CITY, STATE OR FEDERAL AGENCY THAT MAY APPLY. ANY DAMAGE TO EXISTING UTILITIES SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
- SPECIFICATIONS TO GOVERN THIS PROJECT ARE R.I.D.O.T. STANDARD SPECIFICATIONS. FOR ALL EXCAVATION, PLACEMENT OF FILL, PIPE INSTALLATION, BITUMINOUS PAVEMENT, CUTTING INTO CATCHBASIN/MANHOLES, CONCRETE AND SAW CUTTING, THE CONTRACTOR SHALL PERFORM THE WORK IN FULL COMPLIANCE WITH THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, 2010 EDITION, WITH LATEST REVISIONS UNLESS OTHERWISE SHOWN ON PLANS. THE "METHOD OF MEASUREMENT" AND "BASIS OF PAYMENT" ARE NOT APPLICABLE. THESE SPECIFICATIONS CAN BE OBTAINED ON-LINE AT:  
  
HTTP://WWW.DOT.STATE.RI.US/ENGINEERING/STANDARDS/INDEX.ASP
- FOR ALL EXCAVATION AND PLACEMENT OF FILL, THE CONTRACTOR SHALL PERFORM THE WORK IN FULL COMPLIANCE WITH THE R.I. STANDARD SPECIFICATION SECTION 202.
- RHODE ISLAND STANDARDS REFERENCED ARE ACCORDING TO THE STATE OF RHODE ISLAND AND PROVIDENCE PLANTATIONS "RHODE ISLAND STANDARD DETAILS" DATED OCTOBER 12, 2012, WITH ALL REVISIONS AS PREPARED BY THE DEPARTMENT OF TRANSPORTATION.
- THE CONTRACTOR MUST VERIFY PRIOR TO CONSTRUCTION THAT ALL REQUIRED AUTHORIZATION TO PERFORM WORK HAS BEEN OBTAINED. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION OPERATIONS INCLUDING ALL ACTIONS OR OMISSIONS OF ANY SUBCONTRACTORS, AGENTS OR EMPLOYEES. THE CONTRACTOR MUST ENSURE THAT THE CONDITIONS OF ALL PERMITS, SPECIFICATIONS AND FEDERAL, STATE AND LOCAL REGULATIONS ARE STRICTLY ENFORCED. THE CONTRACTOR IS ALSO RESPONSIBLE FOR ASPECTS OF ON-SITE SAFETY INCLUDING ANY DAMAGE TO EXISTING STRUCTURES.
- WORK SHOWN ON THE PLANS FOR WHICH THERE ARE NO PARTICULAR DETAILS OR SPECIFICATIONS DOES NOT RELIEVE THE CONTRACTOR FROM FURNISHING AND INSTALLING THE WORK. THE CONTRACTOR SHALL THOROUGHLY EXAMINE THE CONTRACT DOCUMENTS AND PLANS AND INSPECT THE SITE, AND THE BID PRICE SHALL INCLUDE ALL SERVICES AND MATERIALS NECESSARY TO COMPLETE THE PROJECT. ANY CHANGES TO THE PROJECT OR THE INSTALLATION OF AN ITEM FOR WHICH NO PARTICULAR DETAIL OR SPECIFICATION WAS PROVIDED MUST BE REVIEWED BY AND MUST BE ACCEPTABLE TO THE ENGINEER.
- CONTRACTOR IS RESPONSIBLE TO VERIFY ALL EXISTING CONDITIONS DIMENSIONS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO ANY WORK.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT PRIOR TO THE INITIATION OF WORK. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS, RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.
- ALL DISTURBED AREAS SHALL BE REPLACED IN KIND UNLESS OTHERWISE SHOWN.
- UTILITY CONNECTIONS HAVE BEEN INSTALLED FOR THIS SITE UNDER THE WAKEFIELD MEADOWS CONSTRUCTION. UTILITY CONNECTIONS AVAILABLE ARE: WATER, SEWER, 24" DRAINAGE, ELECTRICAL, AND GAS.
- UPON REVIEW OF VARIOUS AGENCY RECORDS, THIS DEVELOPMENT IS NOT WITHIN THE FOLLOWING RESOURCE PROTECTION AREAS:  
  
NATURAL HERITAGE AREA (RIDEM)  
NARROW RIVER SPECIAL MANAGEMENT AREA (CRMC)  
SALT POND SPECIAL MANAGEMENT PLAN (CRMC)  
GROUNDWATER PROTECTION OVERLAY DISTRICT (TOWN)
- THERE ARE NO HISTORIC CEMETERIES LOCATED ON OR IMMEDIATELY ADJACENT TO THE PROPOSED SITE.
- THE PROPOSED SITE IS NOT INTENDED FOR AGRICULTURAL USE.

**LAYOUT NOTE**

THE LAYOUT SHOWN REPRESENTS A GRAPHICAL DESIGN, AND PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL ENGAGE A PROFESSIONAL LAND SURVEYOR (PLS) REGISTERED IN THE STATE TO SET AND VERIFY ALL LINES AND GRADES. ALL EXISTING UTILITY LOCATIONS AND ELEVATIONS ARE TO BE CONFIRMED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. ANY ITEM FOUND WHICH DOES NOT MATCH THE PLANS MUST BE BROUGHT TO THE ENGINEER'S ATTENTION PRIOR TO CONSTRUCTION FOR REVIEW. NO WORK SHALL PROCEED UNTIL AUTHORIZED BY THE ENGINEER.

**MAINTENANCE AND PROTECTION OF TRAFFIC NOTES**

- THE CONTRACTOR IS RESPONSIBLE TO CONDUCT CONSTRUCTION OPERATIONS IN A MANNER THAT DOES NOT INTERFERE WITH THE ONGOING BUSINESS USE ON SITE. ALL CONSTRUCTION MAINTENANCE AND PROTECTION OF TRAFFIC METHODS SHALL BE APPROVED BY THE OWNER.
- TEMPORARY CONSTRUCTION FENCING WILL BE REQUIRED AROUND THE PERIMETER OF THE CONSTRUCTION WORK AREAS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MAINTENANCE AND PROTECTION OF PEDESTRIAN AND VEHICULAR TRAFFIC INCLUDING POLICE PROTECTION. ALL TEMPORARY CONSTRUCTION SIGNS, BARRICADES AND LANE CLOSURES SHALL BE IN CONFORMANCE WITH THE LATEST REVISIONS OF MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.).
- TEMPORARY CONSTRUCTION SIGNS AND ALL APPLICABLE TRAFFIC CONTROL DEVICES SHALL BE IN PLACE PRIOR TO THE START OF WORK IN ANY AREA OPEN TO TRAFFIC.
- THE PRIVATE VEHICLES OF CONSTRUCTION WORKERS WILL NOT BE PARKED IN THE ROADWAY RIGHT-OF-WAY.
- ALL MAINTENANCE AND PROTECTION OF TRAFFIC CONTROL SETUPS, SIGNS, CHANNELING DEVICES, ETC., SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, 2009 EDITION.
- SIGN MOUNTINGS SHALL BE IN ACCORDANCE WITH THE STATE D.O.T. SPECIFICATIONS FOR TEMPORARY CONSTRUCTION SIGNS.
- THE CONSTRUCTION SITE SHALL BE ACCESSED THROUGH THE CONSTRUCTION ENTRANCE LOCATED OFF OF HAMPTON WAY.

**FLOOD ZONE NOTE**

THE SITE IS LOCATED IN ZONE 'X', AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN AS SHOWN ON THE FLOOD INSURANCE MAP FOR WASHINGTON COUNTY, RHODE ISLAND (ALL JURISDICTIONS), PANEL 203 OF 368, MAP NUMBER 4409C0203J, EFFECTIVE DATE: OCTOBER 16, 2013.

**SIGNAGE NOTE**

PROPOSED SIGNAGE WILL UTILIZE THE EXISTING PYLON SIGN LOCATED ON HAMPTON WAY. BUILDING SIGNAGE IS PROPOSED AS SHOWN ON THE ARCHITECTURAL ELEVATIONS.

**PROPOSED PAVEMENT STRUCTURE**

- 1-1/2" BITUMINOUS CONCRETE SURFACE COURSE
- 3" BITUMINOUS CONCRETE BASE COURSE
- 8" GRAVEL BORROW SUBBASE

**STORMWATER MANAGEMENT SYSTEM - MAINTENANCE OPERATION**

UPON PROJECT COMPLETION, THE SITE OWNER SHALL ADHERE TO THE FOLLOWING MAINTENANCE RECOMMENDATIONS.

**OWNER:**

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C/O JOHN HADDAD  
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EAST GREENWICH, RI

**1. CATCHBASINS AND MANHOLES:**

INSPECTION SHALL OCCUR TWICE PER YEAR (SPRING/FALL) BY QUALIFIED PERSONNEL TO ENSURE PROPER OPERATION. THE INSPECTION SHOULD, AS A MINIMUM, CONCENTRATE ON THE FOLLOWING:

- DAMAGE TO GRATE/COVER
- EVIDENCE OF STANDING WATER
- DEBRIS REMOVAL
- STRUCTURAL ALIGNMENT/INTEGRITY

**2. CATCH BASINS SHALL BE CLEANED ANNUALLY AND ALSO WHENEVER THE DEPTH OF SEDIMENT IS GREATER THAN ONE HALF THE SUMP DEPTH.**

**3. SEDIMENT REMOVAL:**

FOLLOWING CONSTRUCTION, SEDIMENT REMOVAL FROM THE SITE DRAINAGE SYSTEM AND THE WAKEFIELD MEADOWS DRAINAGE SYSTEM SHALL BE CONDUCTED AS DEEMED NECESSARY BY THE SYSTEM INSPECTIONS. ALL REMOVED SEDIMENT IS TO BE TESTED TO DETERMINE POLLUTANT CONTENT. THE SEDIMENT IS TO BE PROPERLY DISPOSED IN UPLAND AREAS BASED UPON THE TEST RESULTS AND LOCAL, STATE, AND FEDERAL REGULATIONS.

**4. INFILTRATION SYSTEMS (SAND FILTER)**

INFILTRATION FACILITIES SHOULD BE INSPECTED ANNUALLY TO ENSURE THAT DESIGN INFILTRATION RATES ARE BEING MET. IF SEDIMENT OR ORGANIC DEBRIS BUILD-UP HAS LIMITED THE INFILTRATION CAPABILITIES (SAND FILTER) TO BELOW THE DESIGN RATE, THE TOP 6 INCHES SHOULD BE REMOVED AND THE SURFACE ROTO-TILLED TO A DEPTH OF 12 INCHES. THE BASIN BOTTOM SHOULD BE RESTORED ACCORDING TO ORIGINAL DESIGN SPECIFICATIONS. ANY OIL OR GREASE FOUND AT THE TIME OF THE INSPECTION SHOULD BE CLEANED WITH OIL ABSORPTION PADS AND DISPOSED OF IN AN APPROVED LOCATION.

INSPECT FACILITY FOR SIGNS OF WETNESS OR DAMAGE TO STRUCTURES AND NOTE ANY ERODED AREAS. IF DEAD OR DYING GRASS ON THE BOTTOM IS OBSERVED, CHECK TO ENSURE THAT WATER PERCOLATES 2-3 DAYS FOLLOWING STORMS. MOW AND REMOVE LITTER AND DEBRIS. STABILIZE ERODED BANKS AND REPAIR UNDERCUT AND ERODED AREAS AT INFLOW AND OUTFLOW STRUCTURES. VEGETATION ALONG THE MAINTENANCE ACCESS ROADS SHOULD BE MOWED ANNUALLY.

**5. ANNUAL SWEEPING**

ANNUAL PARKING LOT AND DRIVEWAY SWEEPING SHALL BE CONDUCTED DURING THE SPRING OF EVERY YEAR.

**WAIVER REQUEST**

THIS PLAN SET REPRESENTS A REQUEST FOR A WAIVER TO THE TOWN OF SOUTH KINGSTOWN ZONING ORDINANCE, SECTION 605, ROUTE 1 SPECIAL MANAGEMENT DISTRICT (605.7 HIGHWAY ACCESS AND BUFFERING).

A WAIVER IS REQUESTED TO MAINTAIN PROPOSED PARKING LOT GRADES WITHIN THE 100' HIGHWAY SETBACK AS SHOWN. PROPOSED GRADES HAVE BEEN LOWERED APPROXIMATELY 3' BELOW ROUTE 1 AND LANDSCAPING WILL BE PROPOSED AS A BUFFER TO LIMIT THE VIEW OF THE DEVELOPMENT FROM ROUTE 1 AND KELLEY WAY.

**CONSTRUCTION NOTES**

- THE CONTRACTOR IS REQUIRED TO OBTAIN AND REVIEW ALL ENGINEERING DOCUMENTS COMPLETED FOR FINAL DESIGN.
- THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO INSTALLATION OF UTILITIES ON SITE. THE COORDINATION IS NECESSARY FOR THE ENGINEER TO SCHEDULE SITE INSPECTIONS. INSTALLATIONS PERFORMED WITHOUT INSPECTIONS BY THE ENGINEER MAY WARRANT COMPLETE REMOVAL AND REINSTALLATION AT THE CONTRACTOR'S SOLE EXPENSE.
- THE CONTRACTOR IS REQUIRED TO MAINTAIN DETAILED AS-BUILT INFORMATION FOR ALL UTILITY INSTALLATIONS. AS-BUILT INFORMATION MUST INCLUDE MATERIAL LIST, PIPE DEPTH AND SWING THE LOCATIONS (2 MINIMUM) FROM NEW PIPE TO BUILDING CORNERS. ALL PIPE BEND/ELBOW LOCATIONS SHALL BE DIMENSIONED. FINAL PAYMENT WILL NOT BE MADE UNTIL SUITABLE AS-BUILT DATA IS PROVIDED.
- ALL AS-BUILT INFORMATION SHALL BE PROVIDED IN A REPRODUCIBLE ACAD AND PDF PLAN AND CERTIFIED BY A LICENSED RHODE ISLAND SURVEYOR OR ENGINEER. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE THIS PLAN UNDER THE BASE CONTRACT BID PRICE.

**STORMWATER MANAGEMENT NOTES**

THE PROPOSED 5.17± ACRE SITE WAS PART OF THE ORIGINALLY PERMITTED DRAINAGE SYSTEM OF THE WAKEFIELD MEADOWS DEVELOPMENT (RIDEM PERMIT No. 04-0378). ALLOWANCE FOR DEVELOPMENT OF THIS SITE WAS INCLUDED IN THE WAKEFIELD MEADOWS STORMWATER MANAGEMENT SYSTEM. THE TABLE BELOW PROVIDES AN IMPERVIOUS COMPARISON FOR THIS SITE'S APPROVED IMPERVIOUS COVERAGE (70%) TO THE PROPOSED DEVELOPMENTS IMPERVIOUS COVERAGE.

WATERSHED SUMMARY					
	TOTAL AREA (Ac.)	IMPERVIOUS AREA (Ac.)	LANDSCAPE AREA (Ac.)	% IMPERVIOUS	CA
APPROVED SITE ALLOWANCE WITHIN THE EXISTING WAKEFIELD MEADOWS	5.17	3.62	1.55	70%	3.65
PROPOSED DEVELOPMENT CONDITIONS (FULL BUILD) (INCLUDES SAND FILTER LINER AREA)	5.17	3.57	1.60	67% *	3.61

\* NOTE: SURFACE LANDSCAPE AREA = 68% (INCLUDES SAND FILTER BASIN)

USING THE RATIONAL METHOD:  
C = RUNOFF COEFFICIENT  
A = AREA IN ACRES

**PEAK FLOWS**

THE ABOVE TABLE DEMONSTRATES THAT THE PROPOSED POST-DEVELOPMENT NET CA IS LESS THAN THE APPROVED NET CA FOR THE WAKEFIELD MEADOWS DETENTION BASIN. THEREFORE, THE PROPOSED RUNOFF OCCURRING WITHIN THE PROPOSED SITE WATERSHED WILL RESULT IN LESS PEAK FLOWS AND RUNOFF VOLUMES FOR ALL STORM EVENTS, INCLUDING THE 2, 10, 25, AND 100-YEAR EVENTS AS COMPARED TO THE DESIGN ALLOWANCES FOR FLOW FROM THIS SITE. SITE FLOWS WILL TIE-IN TO THE EXISTING WAKEFIELD MEADOWS DRAINAGE PIPE STUBS.

**RECHARGE VOLUME**

THE REQUIRED RECHARGE VOLUME FOR A FULL BUILD CONDITION IS PROVIDED BY THE EXISTING SAND FILTER BASIN INSTALLED DURING THE INITIAL COMMERCIAL BUILDING CONSTRUCTION OF THIS SITE (KOCH EYE BUILDING). THE BASIN WAS DESIGNED WITH THE CAPACITY TO INFILTRATE THE ENTIRE RECHARGE VOLUME REQUIRED FOR A FULL BUILD SCENARIO (70% IMPERVIOUS). THE TOTAL IMPERVIOUS COVERAGE FOR THE PROPOSED FULL BUILD IMPROVEMENTS IS 3.53 ACRES WHICH IS LESS THAN 3.62 ACRES (LESS THAN 70% ALLOTTED).

**WATER QUALITY VOLUME**

THE REQUIRED WATER QUALITY VOLUME FOR FULL BUILD IS FOR THE SITE IMPROVEMENT AREA (3.53 AC IMPERVIOUS) AND WILL BE PROVIDED BY THE EXISTING SAND FILTER BASIN (SF-1) AND THE PROPOSED SAND FILTER BASIN NO. 2 (SF-2). SAND FILTER BASIN NO. 2 IS DESIGNED OFF-LINE WITH THE REQUIRED WATER QUALITY FLOW DIRECTED INTO THE BASIN. OUTFLOW FROM THE BASIN WILL TIE-IN TO THE EXISTING WAKEFIELD MEADOWS DRAINAGE PIPE SYSTEM. THE TABLE BELOW PROVIDES A SUMMARY OF THE REQUIRED AND PROPOSED WATER QUALITY VOLUME FOR THE SITE (FULL BUILD).

WATER QUALITY REQUIREMENTS	
FULL BUILD	WQV
REQUIRED	12,560 C.F.
PROVIDED BY SF-1	3,576 C.F.
PROVIDED BY SF-2	10,454 C.F.
TOTAL PROVIDED (SF-1 + SF-2)	14,030 C.F.

**BUILDING CONSTRUCTION NOTES**

- BUILDING CONSTRUCTION WILL BE CONDUCTED ONCE A BUILDING USER IS ESTABLISHED. CONSTRUCTION OF BUILDING 2 IS SCHEDULED FOR THE FALL OF 2014. THE CONSTRUCTION SCHEDULE FOR BUILDINGS 3, 4 AND 5 IS NOT CONFIRMED.
- A POTENTIAL FUTURE BUILDING USER FOR BUILDINGS 3, 4 AND 5 MAY REQUIRE SETTING BUILDING DIMENSIONS AND/OR REQUIREMENTS AS TO WHAT IS SHOWN IN THIS PLAN SET. IF BUILDING DIMENSIONS OR MODIFICATIONS ARE REQUIRED, THESE MODIFICATIONS WILL BE REVIEWED WITH THE PLANNING STAFF FOR THEIR ADMINISTRATIVE APPROVAL. WITH THE REQUEST FOR ADMINISTRATIVE APPROVAL, ANY POTENTIAL MODIFICATIONS WOULD NOT INCREASE THE PROPOSED IMPERVIOUS COVERAGE (3.46 ACRES) AND WOULD NOT CREATE A PLANNING BOARD WAIVER REQUEST.
- SITE PAVING SHALL BE CONDUCTED TO MEET THE PARKING REQUIREMENTS FOR THE BUILDING CONSTRUCTION.

**SOIL EVALUATION DATA**

SOIL EVALUATIONS WERE CONDUCTED BY CROSSMAN ENGINEERING ON DECEMBER 1, 2011

TEST PIT 1	TEST PIT 2	TEST PIT 3	TEST PIT 4	TEST PIT 5
0" - DARK BROWN FINE SANDY LOAM	0" - DARK BROWN FINE SANDY LOAM	0" - DARK BROWN FINE SANDY LOAM	0" - DARK BROWN FINE SANDY LOAM	0" - DARK BROWN FINE SANDY LOAM
7" - DARK YELLOWISH BROWN SILTY LOAM	6" - LIGHT OLIVE BROWN SILTY LOAM	6" - DARK YELLOWISH BROWN FINE SANDY LOAM	8" - DARK YELLOWISH BROWN FINE SANDY LOAM	7" - DARK YELLOWISH BROWN VERY FINE SANDY LOAM
28" - DARK OLIVE GRAY GRAVELLY SILTY LOAM	30" - LIGHT OLIVE BROWN SILTY LOAM	12" - DARK YELLOWISH BROWN VERY FINE SANDY LOAM	18" - DARK YELLOWISH BROWN VERY FINE SANDY LOAM	27" - LIGHT OLIVE BROWN SILTY LOAM
42" - VERY DARK GRAYISH BROWN GRAVELLY FINE SANDY LOAM	48" - DARK OLIVE GRAY GRAVELLY SILTY LOAM	26" - OLIVE BROWN LOAMY FINE SAND	31" - LIGHT OLIVE BROWN SILTY LOAM	38" - DARK OLIVE GRAY GRAVELLY SILTY LOAM
113" - NO REFUSAL 109" WATER SEEPAGE 28" DESIGN GWT 28-42" REDOX FEATURES	60" - VERY DARK GRAYISH BROWN GRAVELLY FINE SANDY LOAM	33" - DARK OLIVE GRAY GRAVELLY SILTY LOAM	46" - DARK OLIVE GRAY GRAVELLY SILTY LOAM	48" - NO REFUSAL NO WATER SEEPAGE 27" DESIGN GWT 7-27" REDOX FEATURES
	120" - NO REFUSAL 97" WATER SEEPAGE 30" DESIGN GWT 20-30" REDOX FEATURES	47" - VERY DARK GRAYISH BROWN STONY GRAVELLY FINE SANDY LOAM	66" - DARK OLIVE GRAY GRAVELLY FINE SANDY LOAM	
		120" - NO REFUSAL 78" WATER SEEPAGE 33" DESIGN GWT 33-47" REDOX FEATURES		
			120" - NO REFUSAL NO WATER SEEPAGE 31" DESIGN GWT 31-46" REDOX FEATURES	

**LEGEND**

	EXISTING		PROPOSED
	PROPERTY LINE		EASEMENT LINE
	CURB		UTILITY POLE
	LIGHT POLE		DRAIN LINE
	SANITARY SEWER		WATER SERVICE
	OVERHEAD WIRES		TELEPHONE CONDUIT
	UNDERGROUND ELEC/TELE/CABLE/FIRE CONDUIT		ELECTRIC POWER CONDUIT
	DRAINAGE MANHOLE		CATCH BASIN
	YARD DRAIN		SEWER MANHOLE
	ELECTRIC MANHOLE		TELEPHONE MANHOLE
	HYDRANT		WATER GATE
	GAS GATE		CLEAN-OUT TO GRADE
	CONTOURS		SPOT GRADES
	CHAIN LINK FENCE		STOCKADE FENCE
	RETAINING WALL		STONE WALL
	GRADE TO DRAIN		GUARDRAIL
	EDGE OF WOODS		TREE
	BOLLARDS		BUILDING/STRUCTURE
	SAW CUT AND MATCH PAVEMENT (FULL DEPTH)		LIMIT OF DISTURBANCE
	FILTER SOXX		GRADED DEPRESSION AREA

**KEY PLAN**

PROJECT TITLE:  
**HAMPTON PLACE**  
PLAT MAP 50-4, LOT 24  
ZONING DISTRICT SMD  
ROUTE 1 SPECIAL  
MANAGEMENT DISTRICT

4847 TOWER HILL ROAD  
SOUTH KINGSTOWN, RI

PREPARED FOR:  
**CHATHAM PROPERTIES, LLC**  
2790 SOUTH COUNTY TRAIL  
EAST GREENWICH, RI

DRAWING TITLE:  
**GENERAL NOTES and LEGEND**

DATE: MAY 2014 SCALE: NO SCALE

DWG. NAME: 1997-C01-NOTES-R7.dwg

REVISIONS	NUMBER	REMARKS	DATE
	1	LANDSCAPING AND DRIVEWAY	06/03/14
	2	PLANNING BOARD COMMENTS	06/20/14
	3	TRC COMMENTS	06/27/14
	4	SNOW AND LANDSCAPING	07/23/14
	5	PLANNING BOARD COMMENTS	09/04/14
	6	LAYOUT CHANGES	03/04/15
	7	PROPOSED SIGN & LANDSCAPING	04/03/15

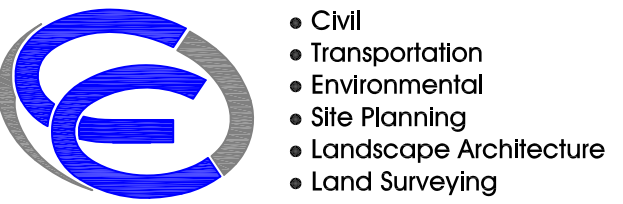
DRAWING NUMBER  
**C1**

SHEET: 2 OF 20

**Crossman Engineering**  
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- Civil
- Transportation
- Environmental
- Site Planning
- Landscape Architecture
- Land Surveying

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KEY PLAN

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**HAMPTON PLACE**  
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 ZONING DISTRICT SMD  
 ROUTE 1 SPECIAL  
 MANAGEMENT DISTRICT

4847 TOWER HILL ROAD  
 SOUTH KINGSTOWN, RI

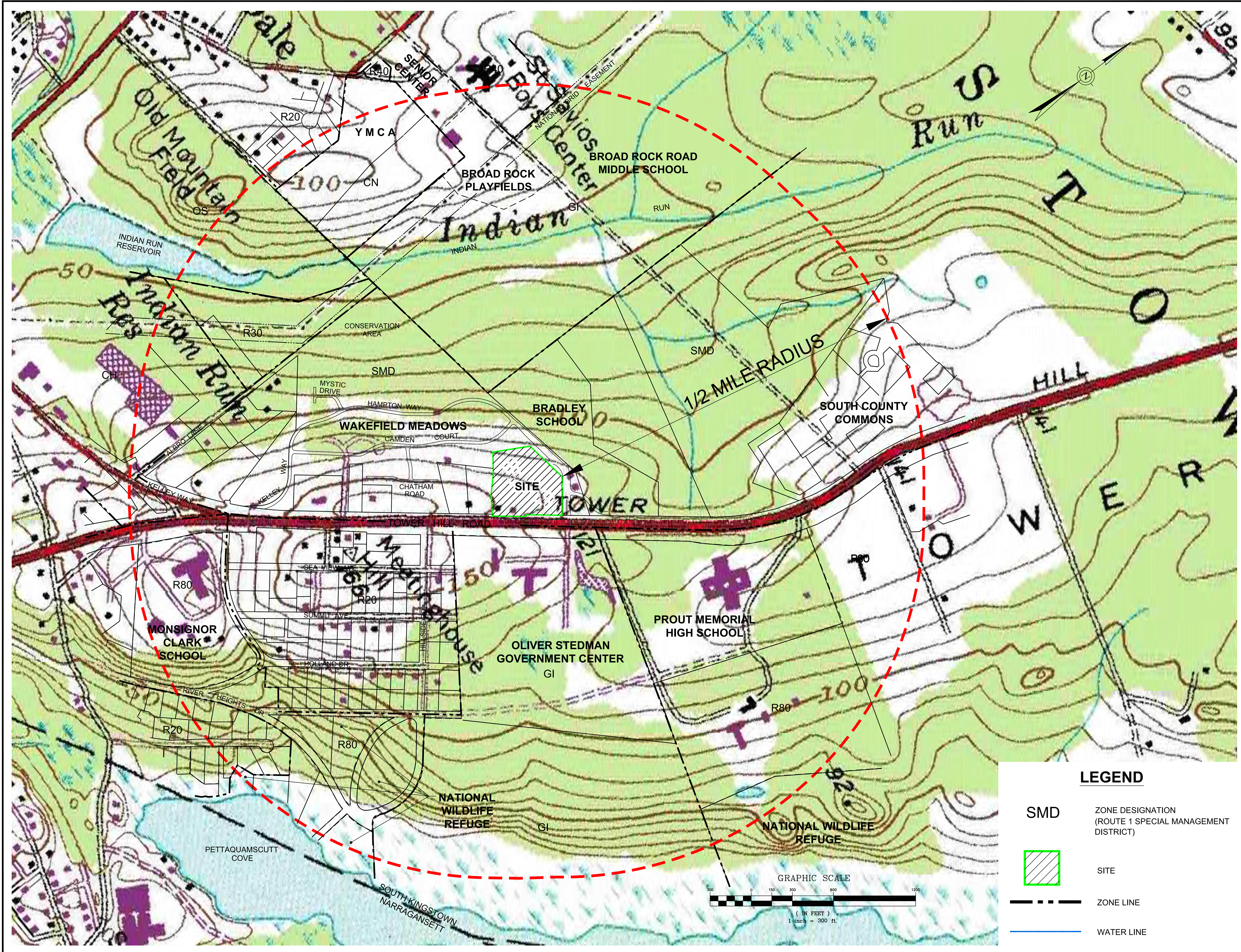
PREPARED FOR:  
**CHATHAM PROPERTIES, LLC**  
 2790 SOUTH COUNTY TRAIL  
 EAST GREENWICH, RI

DRAWING TITLE:  
**VICINITY MAP**

DATE: MAY 2014 SCALE: 1"=300'  
 DWG. NAME: 1997-C02-VICINITY-R7.dwg

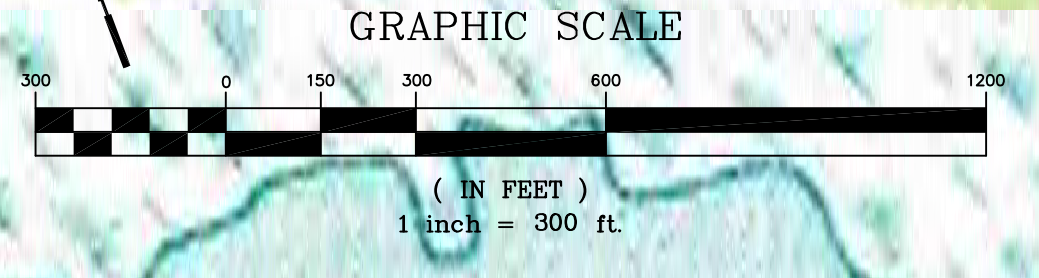
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7	PROPOSED SIGN & LANDSCAPING	04/03/15

DRAWING NUMBER  
**C2**  
 SHEET: 3 OF 20



**LEGEND**

- SMD ZONE DESIGNATION (ROUTE 1 SPECIAL MANAGEMENT DISTRICT)
- SITE SITE
- ZONE LINE
- WATER LINE



# SOIL CLASSIFICATIONS

KEY	SOIL TYPE
BrA	BROADBROOK SILT LOAM, 0 TO 3% SLOPES
BrB	BROADBROOK SILT LOAM, 3 TO 8% SLOPES
RaA	RAINBOW SILT LOAM, 0 TO 3% SLOPES
RaB	RAINBOW SILT LOAM, 3 TO 8% SLOPES
Rf	RIDGEBURY, WHITMAN, AND LEICESTER EXTREMELY STONY FINE SANDY LOAMS
Se	STISSING SILT LOAM
UD	UDORTHENTS-URBAN LAND COMPLEX
W	WATER




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KEY PLAN

PROJECT TITLE:  
**HAMPTON PLACE**  
 PLAT MAP 50-4, LOT 24  
 ZONING DISTRICT SMD  
 ROUTE 1 SPECIAL  
 MANAGEMENT DISTRICT

4847 TOWER HILL ROAD  
 SOUTH KINGSTOWN, RI

PREPARED FOR:  
**CHATHAM PROPERTIES, LLC**  
 2790 SOUTH COUNTY TRAIL  
 EAST GREENWICH, RI

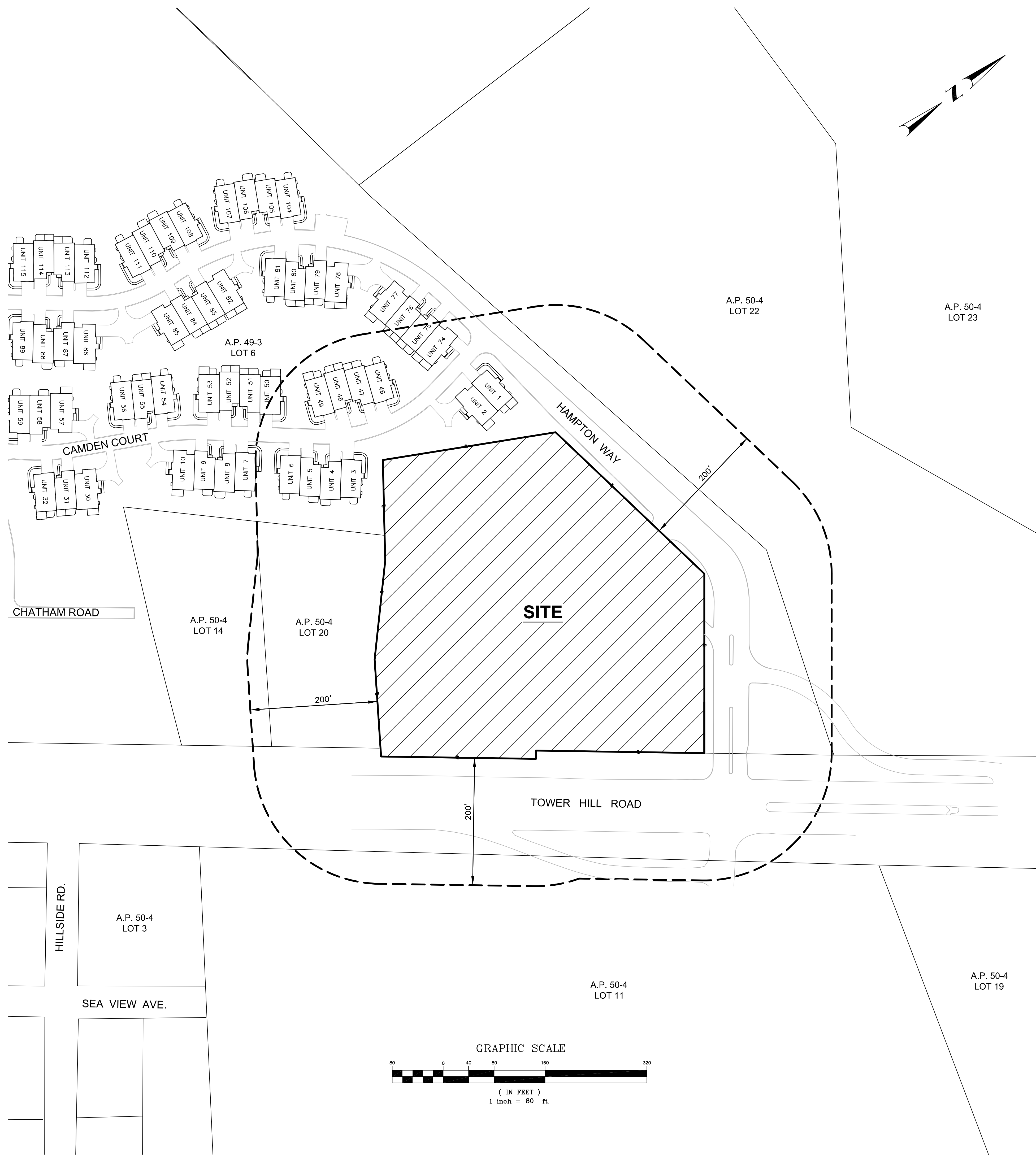
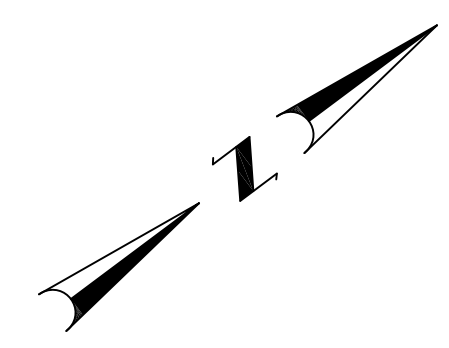
DRAWING TITLE:  
**AERIAL PHOTO  
 and SOIL MAP**

DATE: MAY 2014      SCALE: 1"=100'  
 DWG. NAME: 1997-C03-AERIAL-R7.dwg

REVISIONS		
NUMBER	REMARKS	DATE
1	LANDSCAPING AND DRIVEWAY	06/03/14
2	PLANNING BOARD COMMENTS	06/20/14
3	TRC COMMENTS	06/27/14
4	SNOW AND LANDSCAPING	07/23/14
5	PLANNING BOARD COMMENTS	09/04/14
6	LAYOUT CHANGES	03/04/15
7	PROPOSED SIGN & LANDSCAPING	04/03/15

DRAWING NUMBER  
**C3**  
 SHEET: 4 OF 20

**ABUTTERS WITHIN 200' OF PROPERTY**  
(REVISED 06/09/14)



- AP 49-3, Lot 6-1 John W. Jr. & Kit Laido 76 Hampton Way Wakefield, RI 02879
- AP 49-3, Lot 6-2 Norman J. & Mary S. Salem 129 Edward Place Stamford, CT 06905
- AP 49-3, Lot 6-3 Robert E. & Robin A. Cooney 24 Camden Court Wakefield, RI 02879
- AP 49-3, Lot 6-4 Lisa & Joseph Russo 28 Camden Court Wakefield, RI 02879
- AP 49-3, Lot 6-5 Thomas M. & Susan E. Cioci 30 Camden Court Wakefield, RI 02879
- AP 49-3, Lot 6-6 Nancy Chorney 36 Camden Court Wakefield, RI 02879
- AP 49-3, Lot 6D Pulite Homes of New England, Inc. 115 Flanders Rd., Suite 200 Westborough, MA 01581
- AP 49-3, Lot 6-7 Ellen C. Scobie 40 Camden Court Wakefield, RI 02879
- AP 49-3, Lot 6-8 A. Lorraine Fahy 46 Camden Court Wakefield, RI 02879
- AP 49-3, Lot 6-9 Ronald R. & Dailia C. (LL) Poulin and Poulin Family Trust 48 Camden Court Wakefield, RI 02879
- AP 49-3, Lot 6-10 Joan C. Wood Trust Agreement 52 Camden Court Wakefield, RI 02879
- AP 49-3, Lot 6-19 Susan M. & Robert S. Thurston 1 Chatham Road Wakefield, RI 02879
- AP 49-3, Lot 6-20 Lucille D. White 7 Chatham Road- Unit 20 Wakefield, RI 02879
- AP 49-3, Lot 6-21 Linda J. Pelleccione & Edward L. Seely 9 Chatham Road Wakefield, RI 02879
- AP 49-3, Lot 6-22, 23, 24, 25, 26, 27, 28, 29 Pulite Homes of New England, Inc. 115 Flanders Rd., Suite 200 Westborough, MA 01581
- AP 49-3, Lot 6-30 Roxanne & John Turari 66 Camden Court Wakefield, RI 02879
- AP 49-3, Lot 6-31 Marc A. & Lisa Feinstein 70 Camden Court Wakefield, RI 02879
- AP 49-3, Lot 6-32 Barbara J. Notte 6 Yarmouth Circle Wakefield, RI 02879
- AP 49-3, Lot 6-33 Ann M. & Robert J. Brayton 5 Yarmouth Circle Wakefield, RI 02879
- AP 49-3, Lot 6-34 Lynn A. & Charles F. Clarke 90 Camden Court Wakefield, RI 02879
- AP 49-3, Lot 6-35 Catherine M. Inglesse 96 Camden Court Wakefield, RI 02879
- AP 49-3, Lot 6-36 Donald J. & Margery H. Longley 60 Masters Way Manchester, CT 06040
- AP 49-3, Lot 6-37 Fred J. & Ann R. Mernick 128 Camden Ct Wakefield, RI 02879
- AP 49-3, Lot 6-38 Georgianna Rogers Martin 132 Camden Ct Wakefield, RI 02879
- AP 49-3, Lot 6-39 Linda & Donald S. Swindell 134 Camden Ct Wakefield, RI 02879
- AP 49-3, Lot 6-40 Anthony F. & Elaine L. Varrecchione 140 Camden Ct Wakefield, RI 02879
- AP 49-3, Lot 6-41 Richard & Susan K. George 146 Camden Ct Wakefield, RI 02879
- AP 49-3, Lot 6-42 Edward & Linda Hayes 150 Camden Ct Wakefield, RI 02879
- AP 49-3, Lot 6-43 Robert L. & Nancy J. Sinotte 154 Camden Ct Wakefield, RI 02879
- AP 49-3, Lot 6-44 John Musier-A Trust- 2012 160 Camden Ct Wakefield, RI 02879
- AP 49-3, Lot 6-45 William R. & Mary M. Killen 270 Hampton Way Wakefield, RI 02879
- AP 49-3, Lot 6-46 Lumina Greenway Revoc. Trust 17 Camden Court Wakefield, RI 02879
- AP 49-3, Lot 6-47 Butler Living Trust 23 Camden Court Wakefield, RI 02879
- AP 49-3, Lot 6-48 Norma I. McDonald Dec. of Trust 25 Camden Court Wakefield, RI 02879
- AP 49-3, Lot 6-49 Paul R. & Betty Ann Corsetti 31 Camden Court Wakefield, RI 02879
- AP 49-3, Lot 6-50 Ernest M. & Mary F. Cummings 37 Camden Court Wakefield, RI 02879
- AP 49-3, Lot 6-51 Raymond P. Auger Dec. of Trust & Jane G. Auger Dec. of Trust PO Box 457 Howey IN HLS, FL 34737-0457
- AP 49-3, Lot 6-52 Donald K. & Mary M. Patton 43 Camden Court Wakefield, RI 02879
- AP 49-3, Lot 6-53 William M. & Gayle R. Nutini 49 Camden Court Wakefield, RI 02879
- AP 49-3, Lot 6-54 Dean K. & Toyomi Kosoka 51 Camden Court Wakefield, RI 02879
- AP 49-3, Lot 6-55 Peter C. Keen et al as 55 Camden Court Wakefield, RI 02879
- AP 49-3, Lot 6-56 Alan R. Fortes 61 Camden Court Wakefield, RI 02879
- AP 49-3, Lot 6-57 Conrad B. & Darlene E. Jones 69 Camden Court Wakefield, RI 02879
- AP 49-3, Lot 6-58 George F. & Mary Ann D'Christoforo 73 Camden Court Wakefield, RI 02879
- AP 49-3, Lot 6-59 Maureen J. & Stephen C. Popiaski 79 Camden Court Wakefield, RI 02879
- AP 49-3, Lot 6-60 Raymond A. & Cathleen Naughton 97 Camden Court Wakefield, RI 02879
- AP 49-3, Lot 6-61 Dorothy J. Moretti 101 Camden Court Wakefield, RI 02879
- AP 49-3, Lot 6-62 Janet A. Cornish 103 Camden Court Wakefield, RI 02879
- AP 49-3, Lot 6-63 Joan M. Scanlon Trust 109 Camden Court Wakefield, RI 02879
- AP 49-3, Lot 6-64 Joseph F. Matoney 123 Camden Court Wakefield, RI 02879
- AP 49-3, Lot 6-65 Sheldon N. Grebstein 133 Camden Court Wakefield, RI 02879
- AP 49-3, Lot 6-66 Veta Binkley 125 Camden Court Wakefield, RI 02879
- AP 49-3, Lot 6-67 Jeffrey D. & Sylvia Coons 129 Camden Court Wakefield, RI 02879
- AP 49-3, Lot 6-68 Albert J. Della Bitta 133 Camden Court Wakefield, RI 02879
- AP 49-3, Lot 6-69 Patricia A. Donnelly- A Revoc Trust 139 Camden Court Wakefield, RI 02879
- AP 49-3, Lot 6-70 Jane A. Trehy 141 Camden Court Wakefield, RI 02879
- AP 49-3, Lot 6-71 Brian P. & Loretta J. Smith 147 Camden Court Wakefield, RI 02879
- AP 49-3, Lot 6-72 Russell K. & Rebecca E. Walden 155 Camden Court South Kingstown, RI 02879
- AP 49-3, Lot 6-73 Barbara Jean Taylor- Revoc Trust De 260 Hampton Way Wakefield, RI 02879
- AP 49-3, Lot 6-74 George & Linda Watts 5 Camden Court Wakefield, RI 02879
- AP 49-3, Lot 6-75 Richard R. & Patricia Vanasse 90 Hampton Way Wakefield, RI 02879
- AP 49-3, Lot 6-76 J. Dennis Matoney 92 Hampton Way Wakefield, RI 02879
- AP 49-3, Lot 6-77 Stephen B. & Karen J. Laque 100 Hampton Way Wakefield, RI 02879
- AP 49-3, Lot 6-78 Daureen D. Aulenbach 106 Hampton Way Wakefield, RI 02879
- AP 49-3, Lot 6-79 William F. Buckley Trust Agreement 114 Hampton Way Wakefield, RI 02879
- AP 49-3, Lot 6-80 Karen Spitzer 116 Hampton Way, Unit 80 Wakefield, RI 02879
- AP 49-3, Lot 6-81 Barbara A. Sullivan 120 Hampton Way Wakefield, RI 02879
- AP 49-3, Lot 6-82 Audrey E. Carnevale 128 Heidi Dr. Portsmouth, RI 02871-3510
- AP 49-3, Lot 6-83 Bouchard 134 Hampton Way Wakefield, RI 02879
- AP 49-3, Lot 6-84 William F. MacDonald 136 Hampton Way Wakefield, RI 02879
- AP 49-3, Lot 6-85 Eugene F. & Carolyn J. Spring 142 Hampton Way Wakefield, RI 02879
- AP 49-3, Lot 6-86 Dorothy S. MacDonald 148 Hampton Way Wakefield, RI 02879
- AP 49-3, Lot 6-87 Brooks Family Trust 35 Lydia's Way Northborough, MA 01532
- AP 49-3, Lot 6-88 Pauline A. Murphy 1997 Revocable Trust Agreement 158 Hampton Way Wakefield, RI 02879
- AP 49-3, Lot 6-89 Steve & Francine B. Gilkenson 1735 York Ave, Apt. 9B New York, NY 10128
- AP 49-3, Lot 6-90 Dennis G. & Diane Denelle 180 Hampton Way Wakefield, RI 02879
- AP 49-3, Lot 6-91 Deborah Mulcare Trust Agreement 198 Hampton Way Wakefield, RI 02879
- AP 49-3, Lot 6-92 Hugh V. & Lorraine L. Doolin 198 Hampton Way Wakefield, RI 02879
- AP 49-3, Lot 6-93 Paulette Hubbard 198 Hampton Way Wakefield, RI 02879
- AP 49-3, Lot 6-94 Robin Jon & Robert Scott Greenberg 202 Hampton Way, Unit 94 Wakefield, RI 02879
- AP 49-3, Lot 6-95 Kathy C. & Michael Lafamme 206 Hampton Way Wakefield, RI 02879
- AP 49-3, Lot 6-96 Andrew P. & Marlene S. Bronstein 214 Hampton Way Wakefield, RI 02879
- AP 49-3, Lot 6-97 Charles J. Foster 218 Hampton Way Wakefield, RI 02879
- AP 49-3, Lot 6-98 John Jr. & Patricia A. Maciel 220 Hampton Way Wakefield, RI 02879
- AP 49-3, Lot 6-99 224 Hampton Way, LLC 224 Hampton Way Wakefield, RI 02879
- AP 49-3, Lot 6-100 Pulite Homes of New England, Inc. 115 Flanders Rd., Suite 200 Westborough, MA 01581
- AP 49-3, Lot 6-101 Ronald R. & Joan T. Allard 234 Hampton Way Wakefield, RI 02879
- AP 49-3, Lot 6-102 Andre E. & Susan D. Cabana 236 Hampton Way Wakefield, RI 02879
- AP 49-3, Lot 6-103 Jeffrey D. & Sylvia Coons 129 Camden Court Wakefield, RI 02879
- AP 49-3, Lot 6-104 Pulite Homes of New England, Inc. 115 Flanders Rd., Suite 200 Westborough, MA 01581
- AP 49-3, Lot 6-105 Pulite Homes of New England, Inc. 115 Flanders Rd., Suite 200 Westborough, MA 01581
- AP 49-3, Lot 6-106 Frederick J. & Nancy G. Wilson 121 Hampton Way Wakefield, RI 02879
- AP 49-3, Lot 6-107 Randall Sr. & Margaret N. Collins 125 Hampton Way Wakefield, RI 02879
- AP 49-3, Lot 6-108 Thomas W. & Lola M. Hannah 17 Bigelow Road New Fairfield, CT 06812
- AP 49-3, Lot 6-109 Bruce E. Engelhard Trust 135 Hampton Way Wakefield, RI 02879
- AP 49-3, Lot 6-110 Patricia McKinnon Williams Revoc. Trust Agreement 137 Hampton Way, #110 Wakefield, RI 02879
- AP 49-3, Lot 6-111 Donald & Aila Prest 141 Hampton Way Wakefield, RI 02879
- AP 49-3, Lot 6-112 Robert W. Haney, Jr. Revoc. Trust & Susan E. Harvey Revoc. Trust 149 Hampton Way Wakefield, RI 02879
- AP 49-3, Lot 6-113 E. Berenice Davis 155 Hampton Way Wakefield, RI 02879
- AP 49-3, Lot 6-114 Patrick A. & Phyllis A. Hannigan 157 Hampton Way Wakefield, RI 02879
- AP 49-3, Lot 6-115 William L. Naidich 161 Hampton Way Wakefield, RI 02879
- AP 49-3, Lot 6-116 Janice L. Pover Revoc. Trust 167 Hampton Way, Unit 116 Wakefield, RI 02879
- AP 49-3, Lot 6-117 Edward L. & Joan F. Damburch 173 Hampton Way Wakefield, RI 02879
- AP 49-3, Lot 6-118 Oliver C. & Ann E. Johnson 175 Hampton Way Wakefield, RI 02879
- AP 49-3, Lot 6-119 Thomas J. Corniskey & Marjil Cohen Revoc. Trust 179 Hampton Way Wakefield, RI 02879
- AP 49-3, Lot 6-120 Robert E. & Jane A. Johnson 185 Hampton Way Wakefield, RI 02879
- AP 49-3, Lot 6-121 John H. Jr. & Teresa M. Thompson 189 Hampton Way Wakefield, RI 02879
- AP 49-3, Lot 6-122 Pulte Homes of New England, Inc. 115 Flanders Rd., Suite 200 Westborough, MA 01581
- AP 49-3, Lot 6-123 Katherine K. & Dennis J. Condon 197 Hampton Way Wakefield, RI 02879
- AP 49-3, Lot 6-124 Peter C. Ortleb Trust 907 Panama Ct. #501 New York, NY 10128
- AP 49-3, Lot 6-125 Doris C. & Richard J. Hayes 205 Hampton Way Wakefield, RI 02879
- AP 49-3, Lot 6-126 Susan A. Buelow 211 Hampton Way Wakefield, RI 02879
- AP 49-3, Lot 6-127 Frances E. & Justin A. Paoloni 211 Hampton Way, Unit 127 Wakefield, RI 02879
- AP 49-3, Lot 6-128 Steven Lacroix & Elaine A. Simonian-Lacroix 4 Mystic Drive Wakefield, RI 02879
- AP 49-3, Lot 6-129 Barbara A. Dzilko 223 Hampton Way Wakefield, RI 02879
- AP 49-3, Lot 6-130 Maria Andrea Monckeborg 223 Hampton Way Wakefield, RI 02879
- AP 49-3, Lot 6-131 Brett D. Williams. Living Trust PO Box 3352 Narragansett, RI 02882
- AP 49-3, Lot 6-132 Suzanne J. & David P. Charello 235 Hampton Way Wakefield, RI 02879
- AP 49-3, Lot 6-133 Dorothy E. Marshall 239 Hampton Way Wakefield, RI 02879
- AP 49-3, Lot 6-134 Rochelle T. & Mark T. Carnevale 241 Hampton Way Wakefield, RI 02879
- AP 49-3, Lot 6-135 BWJ Irrevocable Trust 45 Sharpe Drive Cranston, RI 02920
- AP 49-3, Lot 6-136 Kathleen M. Menard- Trust 2010 13 Mystic Drive Wakefield, RI 02879
- AP 49-3, Lot 6-137 John A. Radcliffe 15 Mystic Drive Wakefield, RI 02879
- AP 49-3, Lot 6-138 Dagmar M. Thomas, Denise T. Rooney & John A. Thomas Jr. 19 Mystic Drive Wakefield, RI 02879
- AP 49-3, Lot 6-139 Paul L. Rezendes 26 Mystic Drive Wakefield, RI 02879
- AP 49-3, Lot 6-140 Gary S. & Theresa M. Joswell 24 Mystic Drive Wakefield, RI 02879
- AP 49-3, Lot 6-141 William D. Almon & Ann M. Colby 22 Mystic Drive Wakefield, RI 02879
- AP 49-3, Lot 6-142 David K. & Kathleen A. Sherman 20 Mystic Drive Wakefield, RI 02879
- AP 49-3, Lot 6-143 Wakefield Meadows Condo Assn c/o RPAAC 181 Knight St. Warwick, RI 02886
- AP 50-4, Lot 3 Michael Kilmartin PO Box 5154 Wakefield, RI 02879
- AP 50-4, Lot 11 State of RI & Providence Plantations Office of Chief Legal Counsel One Capitol Hill Providence, RI 02908
- AP 50-4, Lot 14 Tower Hill Law Center, LLC 4879 Tower Hill Road Wakefield, RI 02879
- AP 50-4, Lot 19 Roman Catholic Bishop of Providence 1 Cathedral Square Providence, RI 02903
- AP 50-4, Lot 20 Julianne Alton Rocco 2004 Dec. of Trust & Allen F. Rocco Irrev. Special Needs Trust 35 Stoney Farm Way Wakefield, RI 02879
- AP 50-4, Lot 22 Suffolk Realty LLC 50 South County Commons Way, Unit E-4 Wakefield, RI 02879
- AP 50-4, Lot 23 Emma Fendleton Bradley Hospital c/o Jody Bishop-RI Hospital 765 Allens Ave, Ste. 100 Providence, RI 02903

**CROSSMAN ENGINEERING**  
151 Centerville Road | Warwick, Rhode Island 02886  
Phone: (401) 738-5660 | Fax: (401) 738-8157  
Email: cel@crossmaneng.com

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**KEY PLAN**

**PROJECT TITLE:**  
HAMPTON PLACE  
PLAT MAP 50-4, LOT 24  
ZONING DISTRICT SMD  
ROUTE 1 SPECIAL  
MANAGEMENT DISTRICT

4847 TOWER HILL ROAD  
SOUTH KINGSTOWN, RI

**PREPARED FOR:**  
CHATHAM PROPERTIES, LLC  
2790 SOUTH COUNTY TRAIL  
EAST GREENWICH, RI

**DRAWING TITLE:**  
200' RADIUS MAP

<b>DATE:</b>	MAY 2014	<b>SCALE:</b>	1"=80'
<b>DWG. NAME:</b>	1997-C04-RADIUS-R7.dwg		

**REVISIONS**

NUMBER	REMARKS	DATE
1	LANDSCAPING AND DRIVEWAY	06/03/14
2	PLANNING BOARD COMMENTS	06/20/14
3	TRC COMMENTS	06/27/14
4	SNOW AND LANDSCAPING	07/23/14
5	PLANNING BOARD COMMENTS	09/04/14
6	LAYOUT CHANGES	03/04/15
7	PROPOSED SIGN & LANDSCAPING	04/03/15

**DRAWING NUMBER**  
**C4**  
SHEET: 5 OF 20

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KEY PLAN

**PROJECT TITLE:**  
**HAMPTON PLACE**  
 PLAT MAP 50-4, LOT 24  
 ZONING DISTRICT SMD  
 ROUTE 1 SPECIAL  
 MANAGEMENT DISTRICT

4847 TOWER HILL ROAD  
 SOUTH KINGSTOWN, RI

**PREPARED FOR:**  
**CHATHAM PROPERTIES, LLC**  
 2790 SOUTH COUNTY TRAIL  
 EAST GREENWICH, RI

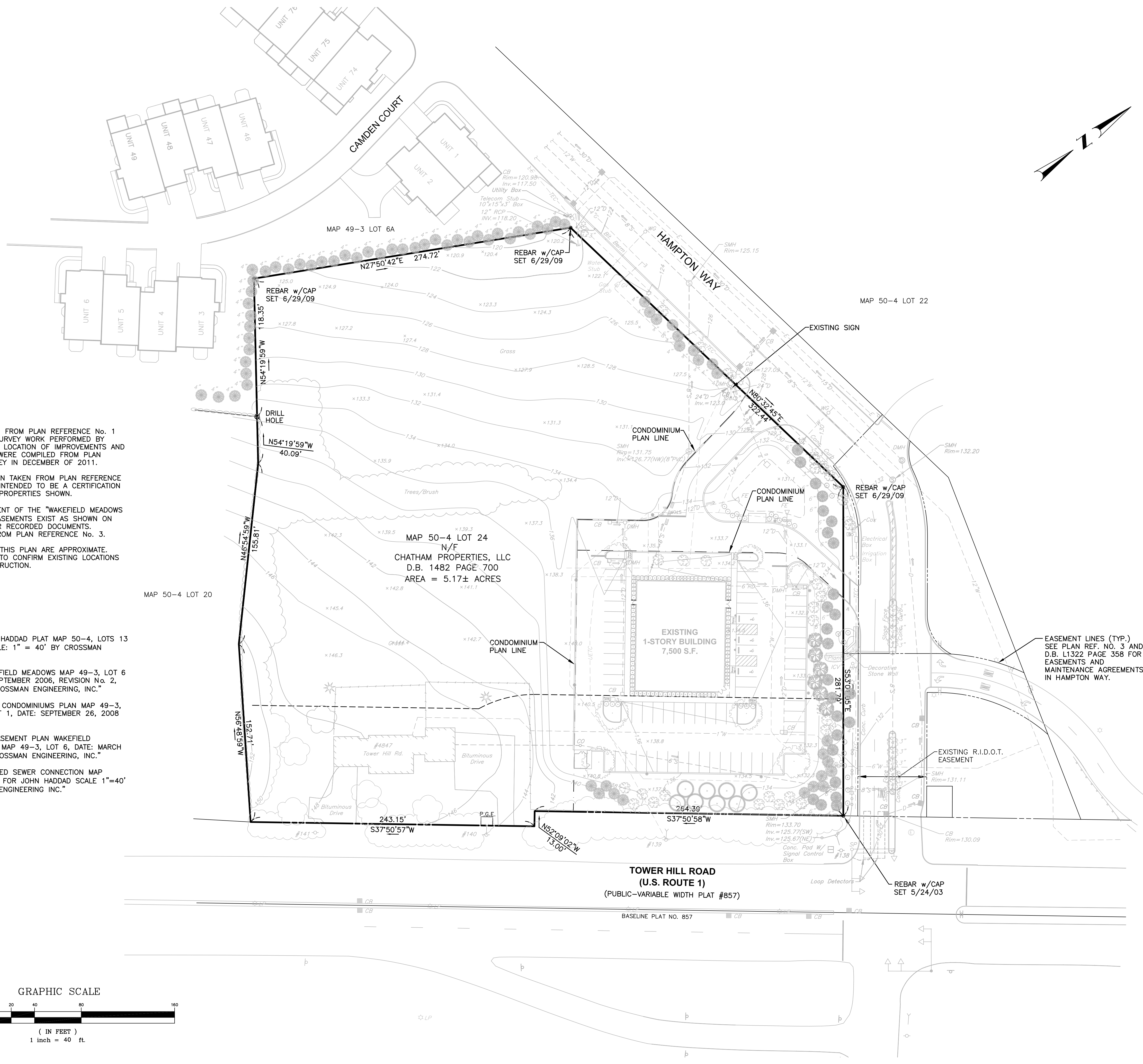
**DRAWING TITLE:**  
**EXISTING  
 CONDITIONS PLAN**

**DATE:** MAY 2014      **SCALE:** 1"=40'  
**DWG. NAME:**  
 1997-C05-EXCN-R7.dwg

REVISIONS

NUMBER	REMARKS	DATE
1	LANDSCAPING AND DRIVEWAY	06/03/14
2	PLANNING BOARD COMMENTS	06/20/14
3	TRC COMMENTS	06/27/14
4	SNOW AND LANDSCAPING	07/23/14
5	PLANNING BOARD COMMENTS	09/04/14
6	LAYOUT CHANGES	03/04/15
7	PROPOSED SIGN & LANDSCAPING	04/03/15

**DRAWING NUMBER**  
**C5**  
 SHEET: 6 OF 20

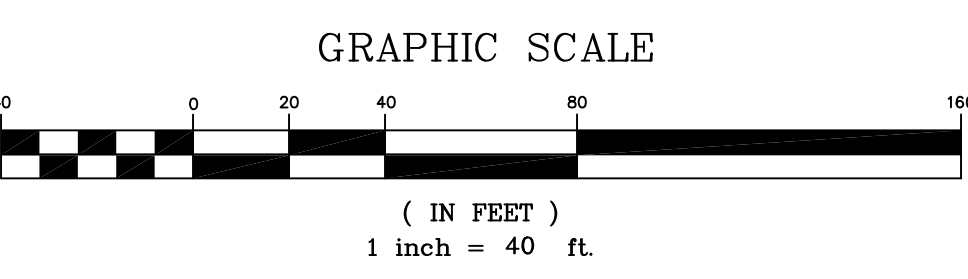


**NOTES**

- PROPERTY LINE INFORMATION TAKEN FROM PLAN REFERENCE No. 1 AND PREVIOUS PLANS AND FIELD SURVEY WORK PERFORMED BY CROSSMAN ENGINEERING, INC. THE LOCATION OF IMPROVEMENTS AND UTILITIES ON THE LOCUS PARCELS WERE COMPILED FROM PLAN REFERENCE No. 1 AND FIELD SURVEY IN DECEMBER OF 2011.
- OWNERS AND ABUTTERS INFORMATION TAKEN FROM PLAN REFERENCE No. 1. THIS INFORMATION IS NOT INTENDED TO BE A CERTIFICATION TO OWNERSHIP OR TITLE FOR THE PROPERTIES SHOWN.
- HAMPTON WAY IS A COMMON ELEMENT OF THE "WAKEFIELD MEADOWS CONDOMINIUMS PLAN." SEVERAL EASEMENTS EXIST AS SHOWN ON PLAN REFERENCE No. 3 AND OTHER RECORDED DOCUMENTS. IMPROVEMENTS WERE COMPILED FROM PLAN REFERENCE No. 3.
- THE EXISTING UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE. CONTRACTOR SHALL DIG TEST PITS TO CONFIRM EXISTING LOCATIONS IN AREAS ADJACENT TO NEW CONSTRUCTION.

**PLAN REFERENCES**

- "ADMINISTRATIVE SUBDIVISION JOHN HADDAD PLAT MAP 50-4, LOTS 13 AND 24, DATE: JULY 1, 2009, SCALE: 1" = 40' BY CROSSMAN ENGINEERING, INC."
- "ADMINISTRATIVE SUBDIVISION WAKEFIELD MEADOWS MAP 49-3, LOT 6 AND MAP 50-4, LOT 17, DATE: SEPTEMBER 2006, REVISION No. 2, 6/20/07, SCALE: 1" = 100' BY CROSSMAN ENGINEERING, INC."
- "PHASE 1 OF WAKEFIELD MEADOWS CONDOMINIUMS PLAN MAP 49-3, LOT 6A, FORMERLY LAND ONLY UNIT 1, DATE: SEPTEMBER 26, 2008 BY CROSSMAN ENGINEERING, INC."
- "WAKEFIELD MEADOWS ENTRANCE EASEMENT PLAN WAKEFIELD MEADOWS PORTION OF ASSESSOR'S MAP 49-3, LOT 6, DATE: MARCH 24, 2008, SCALE: 1" = 40' BY CROSSMAN ENGINEERING, INC."
- "SEWER CONNECTION PLAN PROPOSED SEWER CONNECTION MAP 50-4, LOTS 13 AND 24 PREPARED FOR JOHN HADDAD SCALE 1"=40' DATE MARCH, 2009 BY CROSSMAN ENGINEERING INC."





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KEY PLAN

**PROJECT TITLE:**  
**HAMPTON PLACE**  
 PLAT MAP 50-4, LOT 24  
 ZONING DISTRICT SMD  
 ROUTE 1 SPECIAL  
 MANAGEMENT DISTRICT

4847 TOWER HILL ROAD  
 SOUTH KINGSTOWN, RI

**PREPARED FOR:**  
**CHATHAM PROPERTIES, LLC**  
 2790 SOUTH COUNTY TRAIL  
 EAST GREENWICH, RI

**DRAWING TITLE:**  
**GRADING and  
 DRAINAGE PLAN**

**DATE:** MAY 2014      **SCALE:** 1"=40'  
**DWG. NAME:** 1997-C07.0-GRADE-R7.dwg

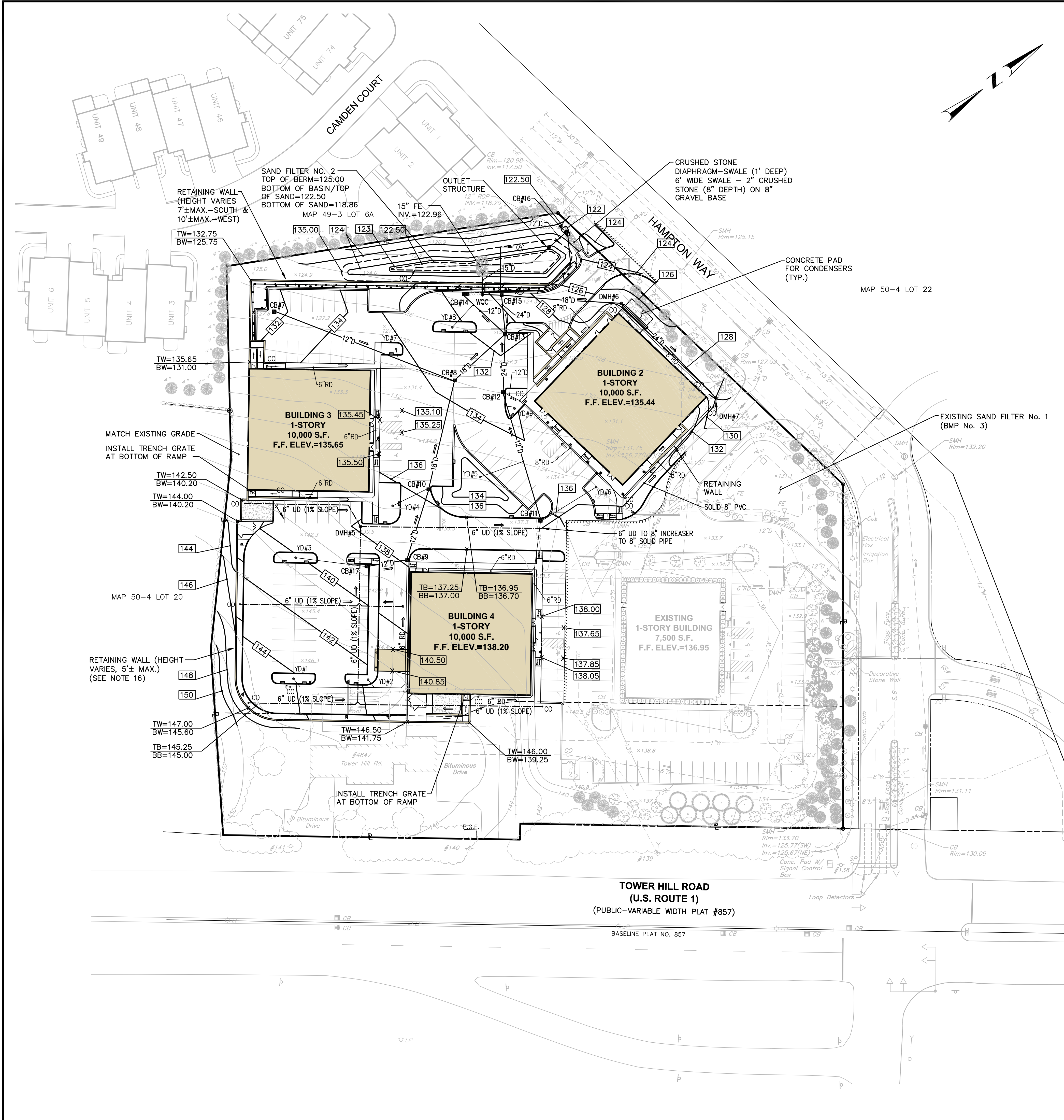
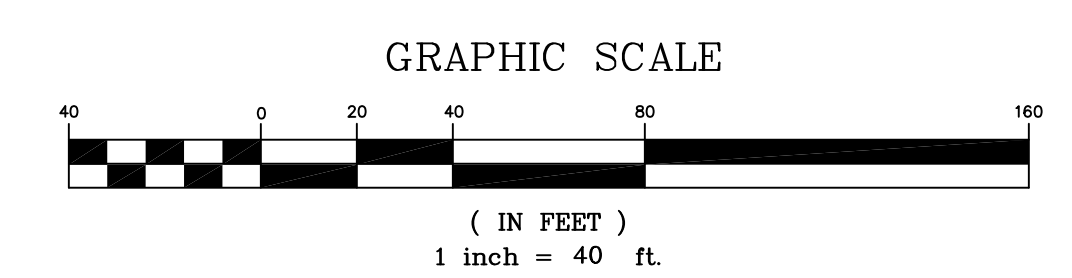
REVISIONS		
NUMBER	REMARKS	DATE
1	LANDSCAPING AND DRIVEWAY	06/03/14
2	PLANNING BOARD COMMENTS	06/20/14
3	TRC COMMENTS	06/27/14
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5	PLANNING BOARD COMMENTS	09/04/14
6	LAYOUT CHANGES	03/04/15
7	PROPOSED SIGN & LANDSCAPING	04/03/15

**DRAWING NUMBER**  
**C7.0**  
 SHEET: 8 OF 20

NUMBER	STRUCTURE	FRAME AND GRATE/COVER	RIM	INVERT (IN)	INVERT (OUT)
CB 7	R.I. STD. 4.4.0 (4' DIA.)	R.I. STD. 6.3.0 (DOUBLE GRATE)	131.75	---	128.52 (12")
CB 8	R.I. STD. 4.4.0 (6' DIA.)	R.I. STD. 6.3.0	133.40	127.25 (18") 128.25 (6")	127.15 (18")
CB 9	R.I. STD. 4.4.0 (4' DIA.)	R.I. STD. 6.3.0	137.90	133.00 (12") 134.00 (6")	132.90 (12")
CB 10	R.I. STD. 4.4.0 (4' DIA.)	R.I. STD. 6.3.0 (DOUBLE GRATE)	135.75	130.30 (12") 131.30 (6")	130.20 (18")
CB 11	R.I. STD. 4.4.0 (4' DIA.)	R.I. STD. 6.3.0	136.25	133.25 (6")	132.25 (12")
CB 12	R.I. STD. 4.4.0 (6' DIA.)	R.I. STD. 6.3.0 (DOUBLE GRATE)	133.00	129.50 (12") 130.00 (6")	128.40 (24")
CB 13	R.I. STD. 4.4.0 (6' DIA.)	R.I. STD. 6.3.0 (DOUBLE GRATE)	131.20	126.00 (24") 126.00 (18") 126.00 (12")	125.90 (24")
CB 14	R.I. STD. 4.4.0 (6' DIA.)	R.I. STD. 6.3.0 (DOUBLE GRATE)	131.25	---	127.00 (12")
CB 15	R.I. STD. 4.4.0 (6' DIA.)	R.I. STD. 6.3.0	129.75	125.55 (24")	125.45 (18") 124.06 (12")
CB 16	R.I. STD. 4.4.0 (4' DIA.)	R.I. STD. 6.3.0	121.50	118.20 (12")	118.20 (12")
CB 17	R.I. STD. 4.4.0 (4' DIA.)	R.I. STD. 6.3.0	139.0	136.00 (6")	135.00 (12")
EX DMH 4	R.I. STD. 4.2.0 (4' DIA.)	R.I. STD. 6.2.1 (EXISTING)	128.00 (EXISTING)	123.00 (24") 123.10 (EX24")	123.0 (EXISTING)
DMH 5	R.I. STD. 4.2.0 (4' DIA.)	R.I. STD. 6.2.1	137.95	135.50 (6")	135.40 (6")
DMH 6	R.I. STD. 4.2.0 (4' DIA.)	R.I. STD. 6.2.1	127.00	123.50 (18")	123.40 (24")
DMH 7	R.I. STD. 4.2.0 (4' DIA.)	R.I. STD. 6.2.1	128.00	123.05 (24")	123.05 (24")
WQC	STORMCEPTOR	MODEL OSR 390	130.50	123.41 (12")	123.21 (15")

**DRAINAGE NOTES**

- THE FINAL DRAINAGE NARRATIVE AND ASSESSMENT WILL BE SUBMITTED TO THE SOUTH KINGSTOWN PUBLIC SERVICES DEPARTMENT FOLLOWING PRELIMINARY PLAN APPROVAL FROM THE PLANNING BOARD.
- CONTRACTOR TO VERIFY THAT ALL STRUCTURES ARE COMPATIBLE WITH FRAME AND GRATE.
- CONTRACTOR IS RESPONSIBLE TO PROVIDE SHOP DRAWINGS AND SPECIFICATIONS FOR ALL DRAINAGE RELATED ITEMS FOR REVIEW AND APPROVAL BY THE ENGINEER, PRIOR TO ORDERING. CONCRETE MANUFACTURER SHALL REVIEW RIM TO TOP OF PIPE ELEVATIONS AND PROVIDE SPECIFIC DETAILS.
- ALL STRUCTURES SHALL BE DESIGNED FOR H-20 LOADING.
- ALL CATCH BASINS SHALL BE PRECAST CONCRETE WATER TIGHT STRUCTURES. (NO WEEP HOLES)
- UNLESS OTHERWISE NOTED, ALL SOLID DRAINAGE PIPE SHALL BE ADS N-12 HDPE OR APPROVED EQUAL. PIPE BEDDING SHALL BE IN CRUSHED STONE OR GRAVEL BORROW COMPACTED TO 95% DRY DENSITY (MODIFIED PROCTOR METHOD). ADS PIPE SHALL BE INSTALLED ACCORDING TO MANUFACTURERS' REQUIREMENTS. PIPES SHALL BE INSTALLED WITH CLAY TRENCH DAMS EVERY 50' (MINIMUM 1 PER PIPE).
- GRADES WITHIN HANDICAP ACCESSIBLE PARKING SPACES AND AISLES SHALL NOT BE LESS THAN 1% OR GREATER THAN 2%.
- ALL ROOF DRAINS SHALL BE INSTALLED AT A 1.0% MINIMUM SLOPE.
- CONTRACTOR MAY NEED TO RELOCATE PIPE TO AVOID CONFLICTS WITH EXISTING UTILITIES. COORDINATE RELOCATION WITH ENGINEER. NO ADDITIONAL PAYMENT WILL BE PROVIDED FOR DAMAGE TO EXISTING UTILITIES. CONTRACTOR IS RESPONSIBLE TO INCLUDE ALL WORK NECESSARY TO INSTALL THIS PIPE, INCLUDING TRANSPLANTING OR PLANTING NEW TREES IF NECESSARY.
- ALL CATCH BASINS WILL BE DEEP SLUMP (4' DEEP) CATCH BASINS WITH A HOOD ON THE OUTLET TEE. FOR HOOD USE LEBARON CATALOG #L-202 OR APPROVED EQUAL.
- CONTRACTOR IS RESPONSIBLE TO REPLACE EXISTING LANDSCAPING IN-KIND IF DAMAGED DURING CONSTRUCTION.
- THE CONTRACTOR SHALL PROVIDE AS-BUILT PLANS THAT INCLUDE DRAINAGE SYSTEM (PIPE INVERTS, SAND FILTER LOCATION AND GRADES, AND OUTLET STRUCTURE INVERTS).
- WATER QUALITY CHAMBER (STORMCEPTOR MODEL OSR-390) MAY BE SUBSTITUTED FOR AN APPROVED EQUAL STRUCTURE. CONTRACTOR SUBMITTAL REQUIREMENTS INCLUDE TSS REMOVAL CALCULATIONS FOR THIS SPECIFIC SITE.
- EACH PIPE RUN (BETWEEN STRUCTURES) SHALL HAVE A TRENCH CHECK DAM INSTALLED. USE 12" WIDE CLAY DAM OR GEOMEMBRANE ANTI-SEEP COLLAR.
- NINE ISLANDS SHALL BE SHAPED AS GRADED DEPRESSIONS USED TO PROVIDE ADDITIONAL STORMWATER PRETREATMENT BY ACCEPTING RUNOFF. THESE ISLANDS SHALL BE GRADED DEPRESSIONS APPROXIMATELY 12"± DEEP AND SHAPED TO STORE AND PROMOTE INFILTRATION OF PAVEMENT RUNOFF. EACH ISLAND SHALL HAVE A HIGH LEVEL OVERFLOW YARD DRAIN WITH THE GRATE 6" TO 8" ABOVE THE BOTTOM ELEVATION.
- THE CONTRACTOR SHALL RETAIN THE SERVICES OF A R.I. LICENSED PROFESSIONAL ENGINEER TO DESIGN A RETAINING WALL SYSTEMS AND THE SUPPORT OF EXCAVATION THAT WILL BE REQUIRED FOR CONSTRUCTION ALONG THE SOUTHERLY PROPERTY LINE. ALL CONSTRUCTION AND LIMIT OF DISTURBANCE WILL BE CONTAINED WITHIN THE SITE PROPERTY. ALL DESIGN AND CONSTRUCTION METHODS AND MATERIAL SHALL BE INCLUDED IN THE BASE BID PRICE.
- UNDERDRAINS FOR PAVEMENT AREAS SHALL BE INSTALLED BELOW THE GRAVEL BORROW SUBBASE COURSE.



**TOWER HILL ROAD**  
**(U.S. ROUTE 1)**  
 (PUBLIC-VARIABLE WIDTH PLAT #857)

BASELINE PLAT NO. 857

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KEY PLAN

PROJECT TITLE:  
**HAMPTON PLACE**  
 PLAT MAP 50-4, LOT 24  
 ZONING DISTRICT SMD  
 ROUTE 1 SPECIAL  
 MANAGEMENT DISTRICT

4847 TOWER HILL ROAD  
 SOUTH KINGSTOWN, RI

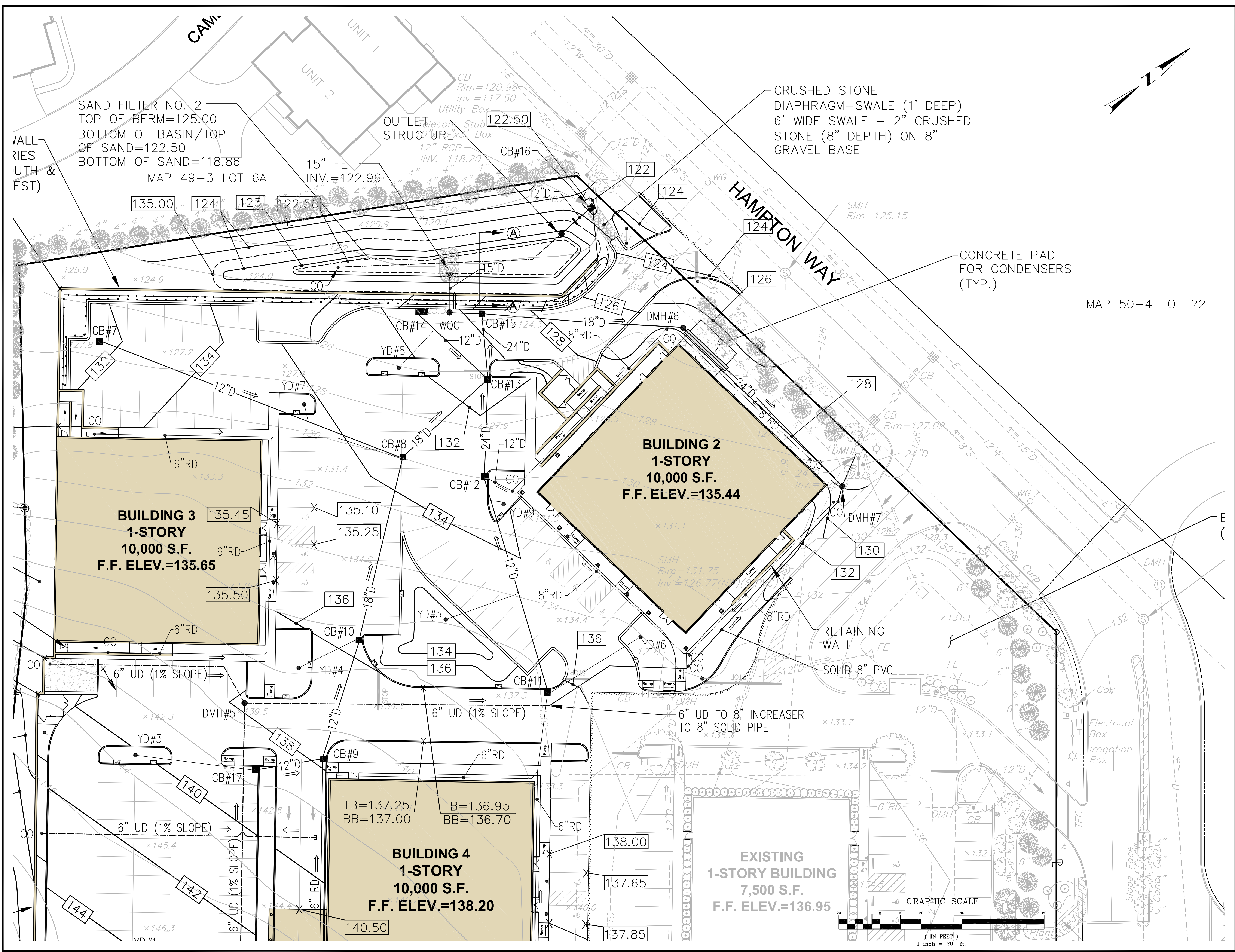
PREPARED FOR:  
**CHATHAM PROPERTIES, LLC**  
 2790 SOUTH COUNTY TRAIL  
 EAST GREENWICH, RI

DRAWING TITLE:  
**GRADING  
 DETAIL PLAN**

DATE: MAY 2014 SCALE: 1"=20'  
 DWG. NAME: 1997-CO7.1-GRADE DETAIL-R7.dwg

NUMBER	REMARKS	DATE
1	LANDSCAPING AND DRIVEWAY	06/03/14
2	PLANNING BOARD COMMENTS	06/20/14
3	TRC COMMENTS	06/27/14
4	SNOW AND LANDSCAPING	07/23/14
5	PLANNING BOARD COMMENTS	09/04/14
6	LAYOUT CHANGES	03/04/15
7	PROPOSED SIGN & LANDSCAPING	04/03/15

DRAWING NUMBER  
**C7.1**  
 SHEET: 9 OF 20





**CROSSMAN ENGINEERING**

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KEY PLAN

PROJECT TITLE:

**HAMPTON PLACE**  
PLAT MAP 50-4, LOT 24  
ZONING DISTRICT SMD  
ROUTE 1 SPECIAL  
MANAGEMENT DISTRICT

4847 TOWER HILL ROAD  
SOUTH KINGSTOWN, RI

PREPARED FOR:

**CHATHAM PROPERTIES, LLC**

2790 SOUTH COUNTY TRAIL  
EAST GREENWICH, RI

DRAWING TITLE:

**UTILITY PLAN**

DATE: MAY 2014 SCALE: 1"=40'

DWG. NAME: 1997-C08-UTILITY-R7.dwg

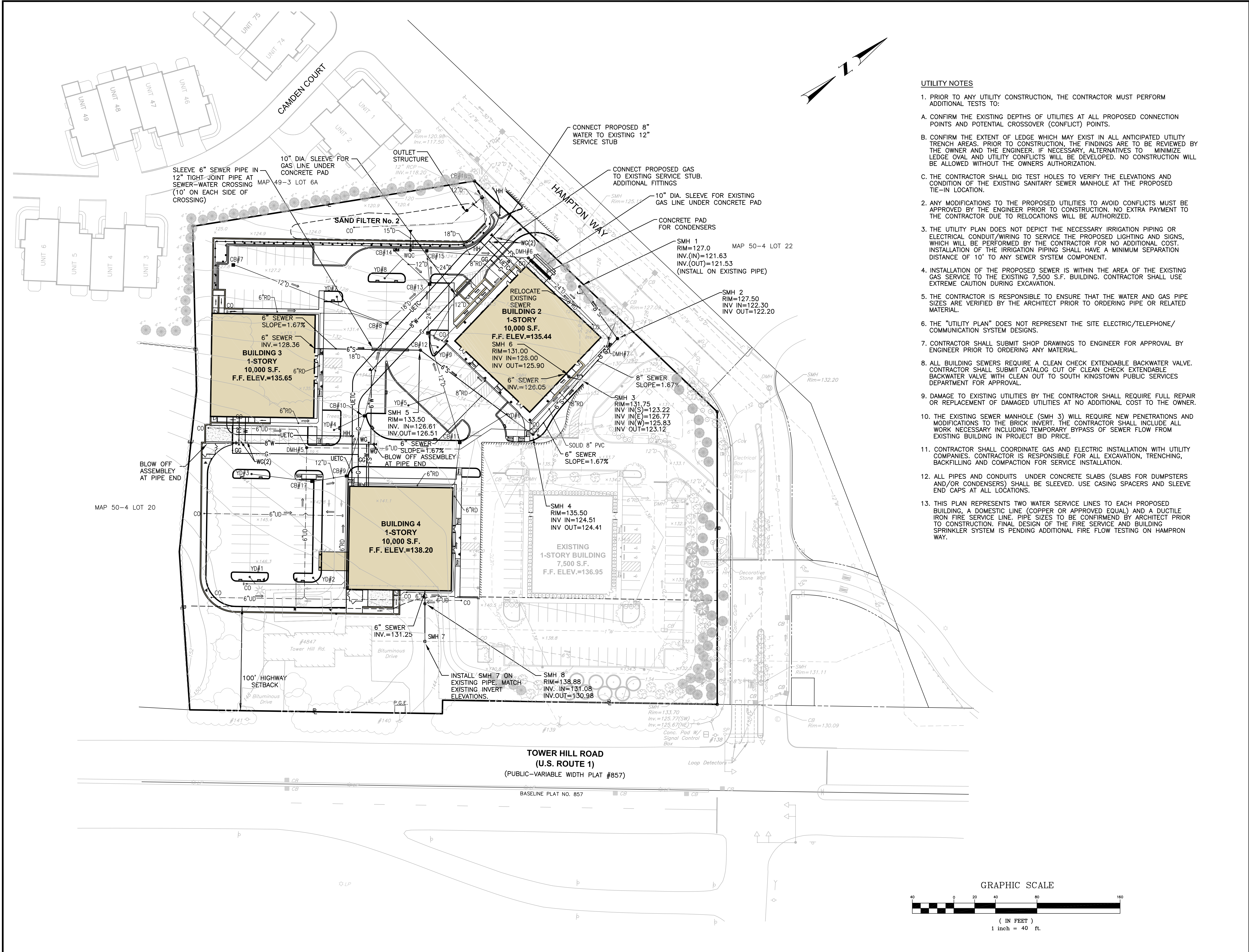
REVISIONS

NUMBER	REMARKS	DATE
1	LANDSCAPING AND DRIVEWAY	06/03/14
2	PLANNING BOARD COMMENTS	06/20/14
3	TRC COMMENTS	06/27/14
4	SNOW AND LANDSCAPING	07/23/14
5	PLANNING BOARD COMMENTS	09/04/14
6	LAYOUT CHANGES	03/04/15
7	PROPOSED SIGN & LANDSCAPING	04/03/15

DRAWING NUMBER

**C8**

SHEET: 10 OF 20



UTILITY NOTES

- PRIOR TO ANY UTILITY CONSTRUCTION, THE CONTRACTOR MUST PERFORM ADDITIONAL TESTS TO:
  - CONFIRM THE EXISTING DEPTHS OF UTILITIES AT ALL PROPOSED CONNECTION POINTS AND POTENTIAL CROSSOVER (CONFLICT) POINTS.
  - CONFIRM THE EXTENT OF LEDGE WHICH MAY EXIST IN ALL ANTICIPATED UTILITY TRENCH AREAS. PRIOR TO CONSTRUCTION, THE FINDINGS ARE TO BE REVIEWED BY THE OWNER AND THE ENGINEER. IF NECESSARY, ALTERNATIVES TO MINIMIZE LEDGE OVAL AND UTILITY CONFLICTS WILL BE DEVELOPED. NO CONSTRUCTION SHALL BE ALLOWED WITHOUT THE OWNERS AUTHORIZATION.
  - THE CONTRACTOR SHALL DIG TEST HOLES TO VERIFY THE ELEVATIONS AND CONDITION OF THE EXISTING SANITARY SEWER MANHOLE AT THE PROPOSED TIE-IN LOCATION.
- ANY MODIFICATIONS TO THE PROPOSED UTILITIES TO AVOID CONFLICTS MUST BE APPROVED BY THE ENGINEER PRIOR TO CONSTRUCTION. NO EXTRA PAYMENT TO THE CONTRACTOR DUE TO RELOCATIONS WILL BE AUTHORIZED.
- THE UTILITY PLAN DOES NOT DEPICT THE NECESSARY IRRIGATION PIPING OR ELECTRICAL CONDUIT/WIRING TO SERVICE THE PROPOSED LIGHTING AND SIGNS, WHICH WILL BE PERFORMED BY THE CONTRACTOR FOR NO ADDITIONAL COST. INSTALLATION OF THE IRRIGATION PIPING SHALL HAVE A MINIMUM SEPARATION DISTANCE OF 10' TO ANY SEWER SYSTEM COMPONENT.
- INSTALLATION OF THE PROPOSED SEWER IS WITHIN THE AREA OF THE EXISTING GAS SERVICE TO THE EXISTING 7,500 S.F. BUILDING. CONTRACTOR SHALL USE EXTREME CAUTION DURING EXCAVATION.
- THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT THE WATER AND GAS PIPE SIZES ARE VERIFIED BY THE ARCHITECT PRIOR TO ORDERING PIPE OR RELATED MATERIAL.
- THE "UTILITY PLAN" DOES NOT REPRESENT THE SITE ELECTRIC/TELEPHONE/COMMUNICATION SYSTEM DESIGNS.
- CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO ENGINEER FOR APPROVAL BY ENGINEER PRIOR TO ORDERING ANY MATERIAL.
- ALL BUILDING SEWERS REQUIRE A CLEAN CHECK EXTENDABLE BACKWATER VALVE. CONTRACTOR SHALL SUBMIT CATALOG OUT OF CLEAN CHECK EXTENDABLE BACKWATER VALVE WITH CLEAN OUT TO SOUTH KINGSTOWN PUBLIC SERVICES DEPARTMENT FOR APPROVAL.
- DAMAGE TO EXISTING UTILITIES BY THE CONTRACTOR SHALL REQUIRE FULL REPAIR OR REPLACEMENT OF DAMAGED UTILITIES AT NO ADDITIONAL COST TO THE OWNER.
- THE EXISTING SEWER MANHOLE (SMH 3) WILL REQUIRE NEW PENETRATIONS AND MODIFICATIONS TO THE BRICK INVERT. THE CONTRACTOR SHALL INCLUDE ALL WORK NECESSARY INCLUDING TEMPORARY BYPASS OF SEWER FLOW FROM EXISTING BUILDING IN PROJECT BID PRICE.
- CONTRACTOR SHALL COORDINATE GAS AND ELECTRIC INSTALLATION WITH UTILITY COMPANIES. CONTRACTOR IS RESPONSIBLE FOR ALL EXCAVATION, TRENCHING, BACKFILLING AND COMPACTION FOR SERVICE INSTALLATION.
- ALL PIPES AND CONDUITS UNDER CONCRETE SLABS (SLABS FOR DUMPSTERS AND/OR CONDENSERS) SHALL BE SLEEVED. USE CASING SPACERS AND SLEEVE END CAPS AT ALL LOCATIONS.
- THIS PLAN REPRESENTS TWO WATER SERVICE LINES TO EACH PROPOSED BUILDING. A DOMESTIC LINE (COPPER OR APPROVED EQUAL) AND A DUCTILE IRON FIRE SERVICE LINE. PIPE SIZES TO BE CONFIRMED BY ARCHITECT PRIOR TO CONSTRUCTION. FINAL DESIGN OF THE FIRE SERVICE AND BUILDING SPRINKLER SYSTEM IS PENDING ADDITIONAL FIRE FLOW TESTING ON HAMPTON WAY.

**NOTES**

- CONTRACTOR SHALL INSTALL TEMPORARY MEASURES SUCH AS: FIBER MATTING, CRUSHED STONE, HAY OR STRAW IN AREAS WHERE SLOPES OR STABILIZATION HAS FAILED.
- CONTRACTOR SHALL INSTALL SILT SACK OR APPROVED EQUAL UNDER THE EXISTING CATCH BASIN GRATES ON HAMPTON WAY AND THE ADJACENT PARKING LOT. REMOVE AFTER CONSTRUCTION.
- THE PROPOSED SAND FILTER BASIN SHALL NOT BE USED AS A SEDIMENT TRAP DURING CONSTRUCTION AND THE CONTRACTOR SHALL NOT DIRECT STORMWATER TO THE SAND FILTER BASIN UNTIL THE BASIN IS SEEDED AND VEGETATION IS ESTABLISHED.
- FILTER SOXX SHALL BE INSTALLED AROUND THE PERIMETER OF THE AREA TO BE DISTURBED BY CONSTRUCTION. ADDITIONAL APPLICATIONS OF THESE CONTROLS MEASURES MAY BE REQUIRED DURING THE CONSTRUCTION PROCESS. THE CONTRACTOR SHALL INSPECT THE SITE AT A MINIMUM OF ONCE PER WEEK OR WITHIN 24 HOURS AFTER A STORM EVENT.
- IF EROSION OR EROSION TENDENCIES ARE APPARENT ON THE SITE, THE CONTRACTOR IS RESPONSIBLE TO INSTALL ADDITIONAL CONSTRUCTION BMP'S SUCH AS SAND BAGS AS DIRECTED BY THE TOWN, STATE OR ENGINEER DURING CONSTRUCTION.
- IF SEDIMENT OR DEBRIS IS TRACKED ONTO HAMPTON WAY OR ADJACENT PARKING LOT, THE CONTRACTOR IS REQUIRED TO SWEEP THE PAVEMENT ON A DAILY BASIS.
- THE CONTRACTOR IS RESPONSIBLE TO KEEP THE SITE CLEAN OF TRASH. RECOMMENDED DAILY PATROL OF THE CONSTRUCTION SHOULD BE CONDUCTED TO PICK-UP TRASH. THE OPERATOR SHALL REQUIRE THE CONTRACTOR TO HAVE PORTABLE SANITARY FACILITIES ON SITE. ROUTINE CLEANING AND WASTE DISPOSAL OF THESE PORTABLE SANITARY FACILITIES IS REQUIRED.

**CONSTRUCTION NOTES**

THE PROPOSED VEGETATIVE AND STRUCTURAL PRACTICES TO BE IMPLEMENTED DURING CONSTRUCTION ARE DESCRIBED AND ILLUSTRATED WITHIN THE ACCOMPANYING SITE PLANS. IN ADDITION, THE OPERATOR SHOULD INITIATE APPROPRIATE STABILIZATION PRACTICES ON ALL DISTURBED AREAS AS SOON AS POSSIBLE BUT NOT MORE THAN FOURTEEN (14) DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT AREA HAS TEMPORARILY OR PERMANENTLY CEASED, UNLESS THE ACTIVITY IS TO RESUME WITHIN TWENTY-ONE (21) DAYS. IF BUILDING CONSTRUCTION CANNOT BEGIN WITHIN TWENTY-ONE (21) DAYS OF COMPLETING SITE PREPARATION ACTIVITIES ALL DISTURBED AREAS SHALL BE STABILIZED WITH LOAM AND SEEDING.

**ADDITIONAL CONTROLS**

- A CRUSHED STONE CONSTRUCTION ENTRANCE WILL BE LOCATED AT THE SITE'S PRIMARY ACCESS POINT. THE ENTRANCE WILL BE APPROXIMATELY 50 FEET LONG AND 20 FEET WIDE. ALL CONSTRUCTION VEHICLES WILL BE REQUIRED TO ENTER AND EXIT VIA THIS ENTRANCE.
- ALL TYPES OF WASTE GENERATED AT THE SITE SHALL BE DISPOSED OF IN A MANNER CONSISTENT WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.
- THE CONTRACTOR IS REQUIRED TO NOTIFY LOCAL AUTHORITIES AND THE RHODE ISLAND DEPARTMENT OF ENVIRONMENTAL MANAGEMENT, OFFICE OF WASTE MANAGEMENT, OF ANY HAZARDOUS MATERIAL SPILL.
- THE CONTRACTOR IS REQUIRED TO MAINTAIN THE SITE IN AN ORDERLY AND CLEAN STATE. ALL CONSTRUCTION WASTE SHALL BE STORED IN APPROPRIATE CONTAINERS PRIOR TO REMOVAL AND CONTACT WITH PRECIPITATION SHALL BE KEPT TO A MINIMUM.
- GENERAL MAINTENANCE PROCEDURES ARE OUTLINED IN THE ACCOMPANYING SITE PLANS. IN ADDITION, THE OPERATOR AND CONTRACTOR ARE REQUIRED TO INSPECT ALL EROSION CONTROLS ON THE SITE AT LEAST ONCE EVERY SEVEN (7) CALENDAR DAYS AND WITHIN TWENTY-FOUR (24) HOURS AFTER A RAIN EVENT, WHICH GENERATES 0.25 INCHES OF RAIN IN A TWENTY-FOUR (24) HOUR PERIOD AND/OR AFTER A SIGNIFICANT AMOUNT OF RUNOFF.

**SEQUENCE OF CONSTRUCTION**

CONSTRUCTION ACTIVITIES WILL INCLUDE EARTHWORK, LEDGE REMOVAL IF REQUIRED, BUILDING CONSTRUCTION, DRAINAGE/UTILITY INSTALLATION AND EROSION AND SEDIMENT CONTROL INSTALLATION AND MAINTENANCE. IN GENERAL, THE SEQUENCE OF CONSTRUCTION WILL BE AS FOLLOWS:

- INSTALLATION OF EROSION CONTROLS SUCH AS FILTER SOXX AND THE CONSTRUCTION ENTRANCE.
- DRAINAGE AND UTILITY REMOVAL/RELOCATION/INSTALLATION
- EARTHWORK ACTIVITIES CONSISTING OF PREPARING THE SITE FOR BUILDING CONSTRUCTION.
- BUILDING CONSTRUCTION.
- GROUND COVER TREATMENT/STABILIZATION.

**NOTE:** THE BIO-RETENTION BASIN SHALL BE INSTALLED AND FULLY STABILIZED PRIOR TO PAVING OPERATIONS.

**STORMWATER MANAGEMENT SYSTEM CONSTRUCTION NOTES**

- PRIOR TO CONSTRUCTION, CONTRACTOR SHALL ROPE OFF PROPOSED SAND FILTER BASIN LOCATION. CONSTRUCTION EQUIPMENT SHALL NOT BE ALLOWED ON AREAS INTENDED FOR INFILTRATION.
- THE SAND FILTER BASINS SHALL NOT BE USED AS TEMPORARY SEDIMENT TRAPS FOR CONSTRUCTION ACTIVITIES.
- CONTRACTOR SHALL USE LIGHT EARTH MOVING EQUIPMENT TO EXCAVATE INFILTRATION AREAS.
- PRIOR TO LOAM AND SEED INSTALLATION WITHIN THE SAND FILTER BASIN, TILL THE BASIN FLOOR WITH A ROTARY TILLER TO A DEPTH OF 12 INCHES TO RESTORE INFILTRATION RATES.
- FOLLOWING CONSTRUCTION OF THE SAND FILTER BASIN THE AREA SHALL BE ROPED OFF. STORMWATER GENERATED BY OTHER CONSTRUCTION ACTIVITIES SHALL NOT BE DIRECTED TO THE COMPLETED BASINS.
- STORMWATER MAY BE DIRECTED TO THE SAND FILTER BASIN AFTER CONSTRUCTION IS COMPLETE AND THE BOTTOM AND SIDE SLOPES ARE STABILIZED.

**PROJECT CLOSE-OUT NOTE**

ONCE CONSTRUCTION IS COMPLETE AND PERMANENT GROUND COVER ESTABLISHED, THE CONTRACTOR SHALL CLEAN AND FLUSH ALL DRAIN LINES ON SITE. THE DRAIN LINES WITHIN HAMPTON WAY AND THE ADJACENT PARKING LOT SHALL BE INSPECTED FOR CONSTRUCTION SEDIMENT AND, IF NECESSARY, CLEANED AND FLUSHED BY THE CONTRACTOR.

**GROUND COVER NOTE**

GROUND COVER FOR SLOPES OF 2:1 TO 3:1 SHALL BE STABILIZED WITH FILTREXX VEGETATED COVER, AND OTHER AREAS SHALL BE STABILIZED WITH CRUSHED STONE OR LOAM AND SEED, AS APPROVED BY THE OWNER.

**DUST CONTROL NOTES**

ON AN AS-NEEDED BASIS OR AS DIRECTED BY THE TOWN OR OWNER, THE CONTRACTOR SHALL UTILIZE ONE OF THE FOLLOWING METHODS (AS RECOMMENDED BY THE "R.I. SOIL EROSION AND SEDIMENT CONTROL HANDBOOK") TO CONTROL DUST:

- THE EXPOSED SOIL SURFACE SHOULD BE MOISTENED PERIODICALLY WITH ADEQUATE WATER TO CONTROL DUST.
- CALCIUM CHLORIDE SHOULD BE EITHER LOOSE DRY GRANULES OR FLAKES FINE ENOUGH TO FEED THROUGH A SPREADER AT A RATE THAT WILL KEEP SURFACE MOIST BUT NOT CAUSE POLLUTION OR PLANT DAMAGE.

THE METHODS SHOULD BE REPEATED AS NEEDED, AND SPECIAL ATTENTION MUST BE GIVEN TO THE ACCESS DRIVES.

**INSPECTION/MAINTENANCE NOTES**

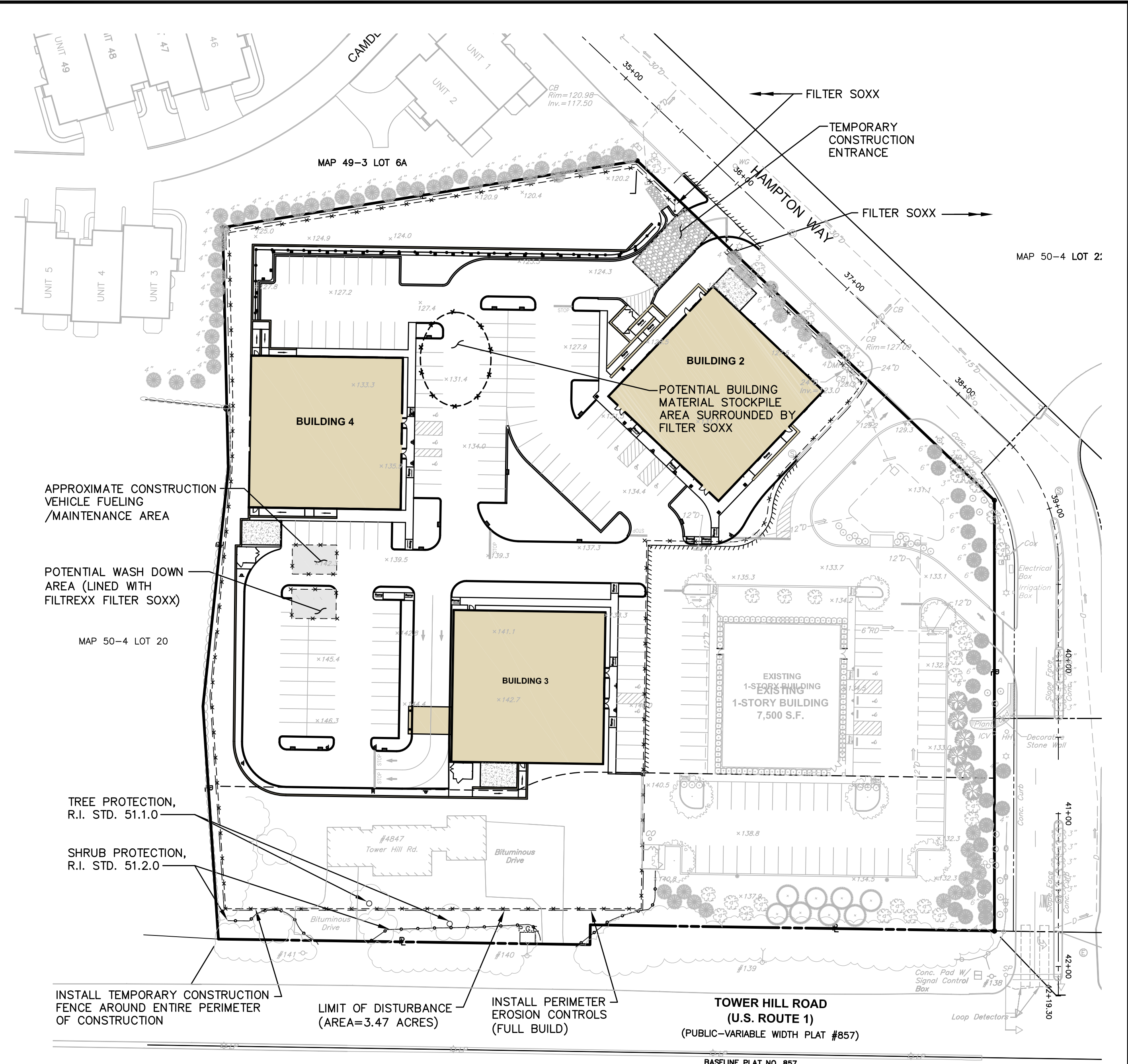
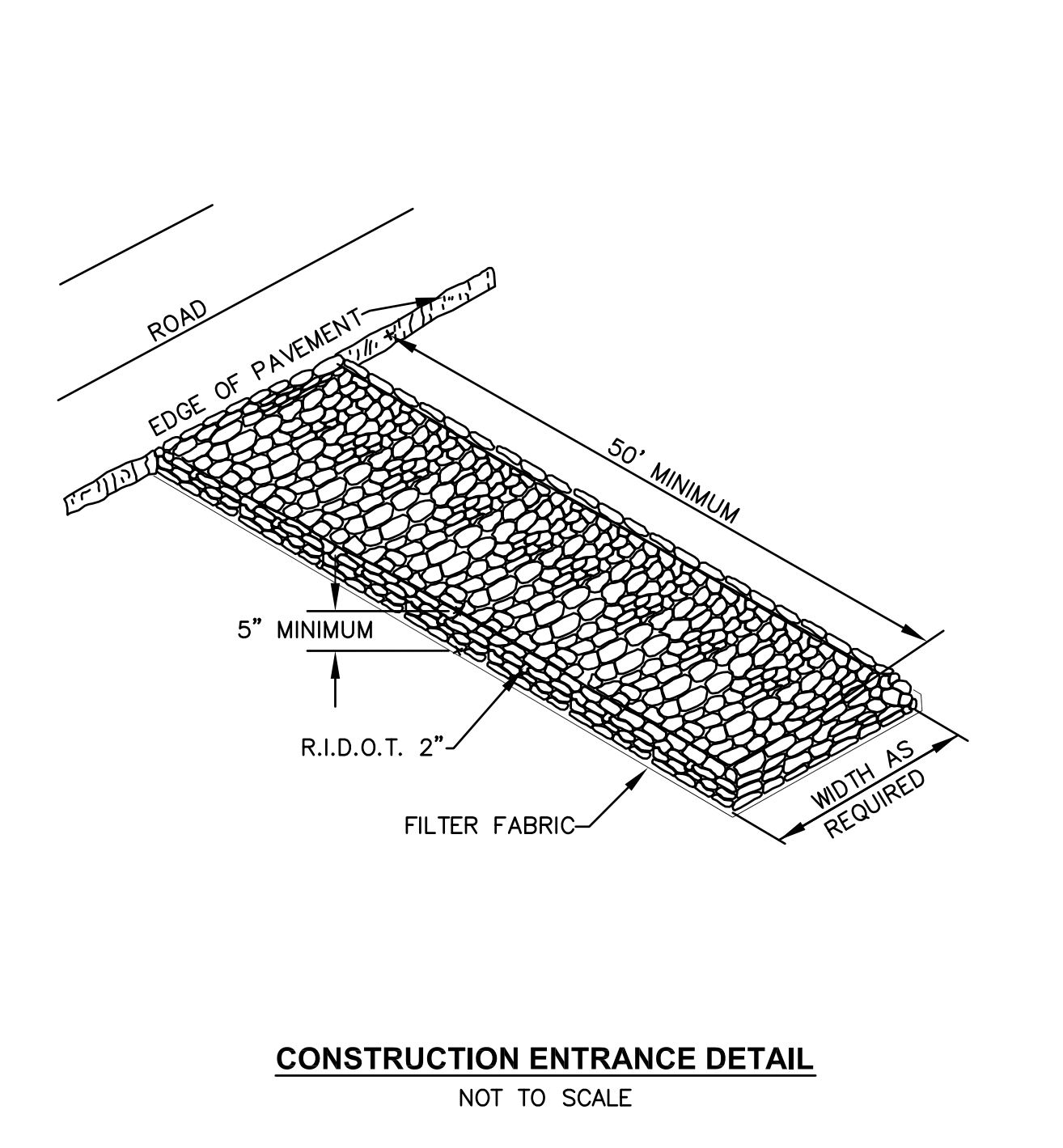
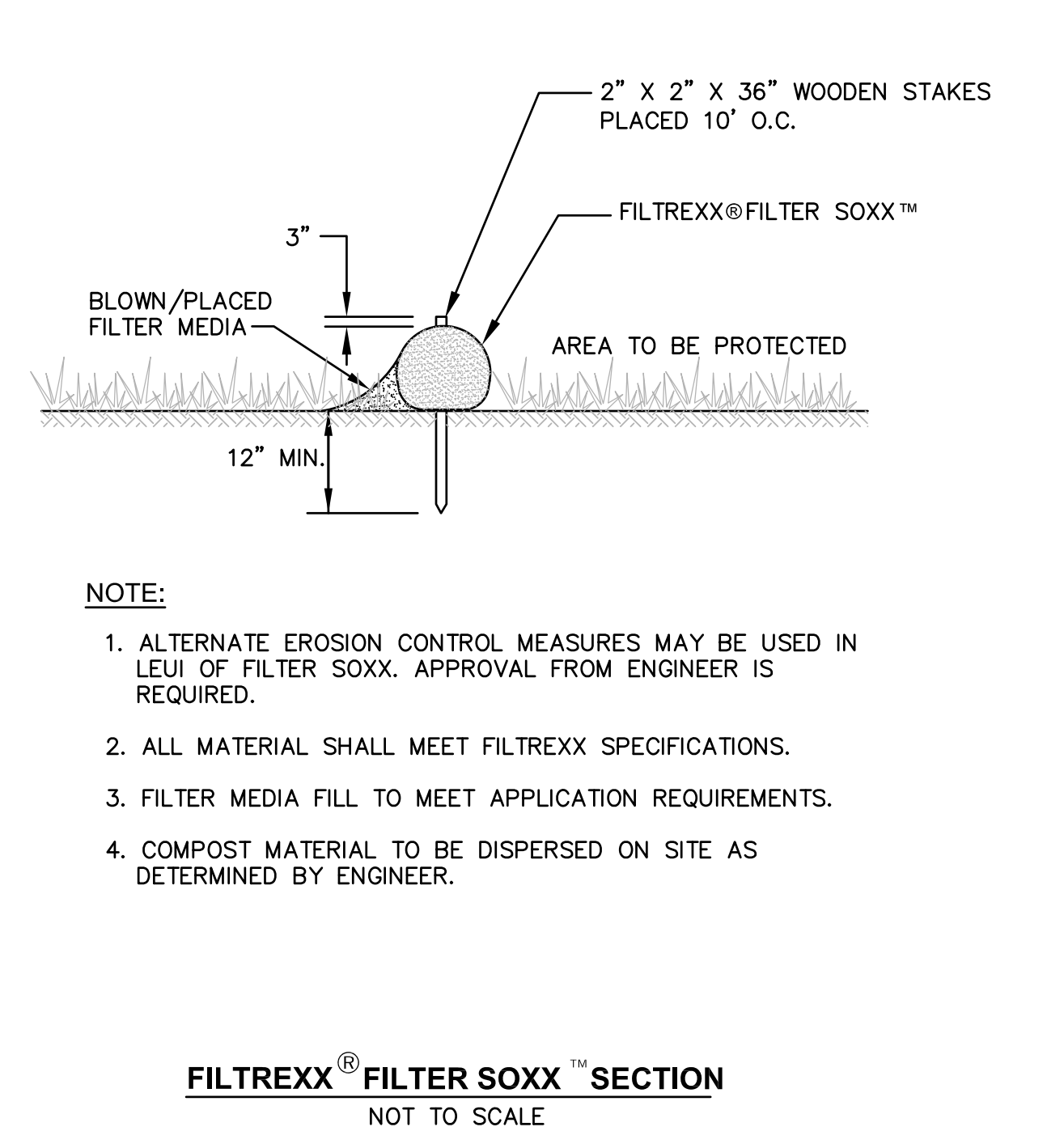
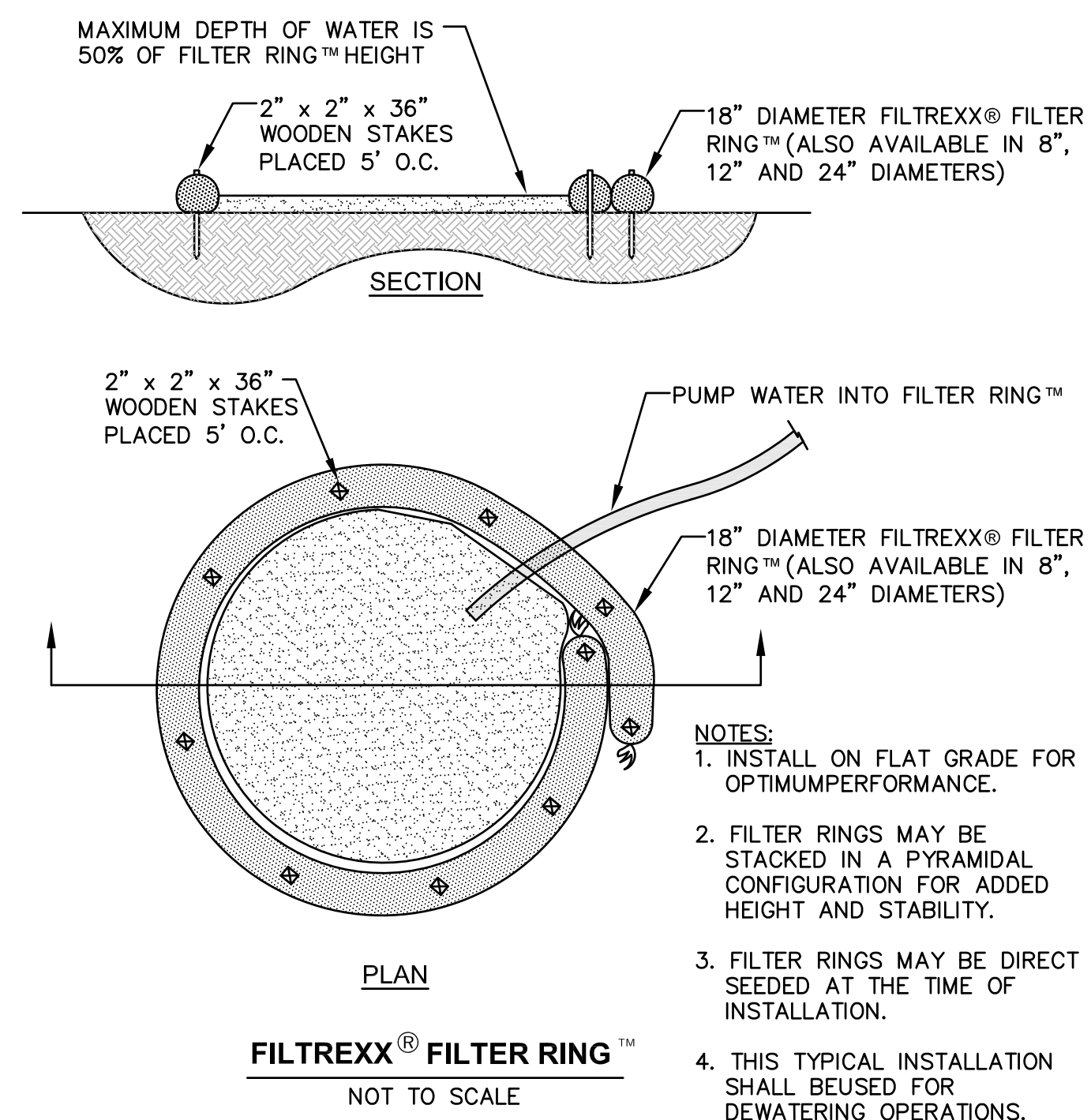
- PRIOR TO COMMENCING CLEARING AND GRUBBING OPERATIONS, FILTREXX FILTER SOXX SHALL BE PLACED SO AS TO PREVENT SEDIMENT FROM ENTERING EXISTING ROADWAY DRAINAGE SYSTEM AND ADJUTING PROPERTIES.
- EXTREME CARE SHALL BE EXERCISED SO AS TO PREVENT ANY UNSUITABLE MATERIAL FROM ENTERING THE WETLAND OR ROADWAY DRAINAGE SYSTEM.
- ALL DISTURBED AREAS WHICH BECOME SUBJECT TO EROSION TENDENCIES WHETHER THEY BE NEWLY FILLED OR EXCAVATED SHALL RECEIVE SLOPE PROTECTION - SUCH AS RIP-RAP, OR APPROVED EQUAL.
- DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING DRAINAGE AND RUNOFF FLOW DURING PERIODS OF RAINFALL.
- DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EROSION CONTROL MAINTENANCE AND SHALL INSPECT / REPLACE DAILY DURING CONSTRUCTION, FOLLOWING RAINFALL AND WEEKLY DURING NON CONSTRUCTION PERIODS.
- ADDITIONAL FILTREXX FILTER SOXX OR SANDBAGS SHALL BE LOCATED AS CONDITIONS WARRANT OR AS DIRECTED BY THE ENGINEER. EROSION CONTROL MAINTENANCE AND REPLACEMENT SHALL BE INCLUDED IN THE BASE BID PRICE.
- THE "R.I. SOIL EROSION AND SEDIMENT CONTROL HANDBOOK" PREPARED BY THE U.S. DEPARTMENT OF AGRICULTURE, SOIL CONSERVATION SERVICE, 1989, MUST BE UTILIZED BY THE CONTRACTOR AS A GUIDE.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL DUST CONTROL AND FOR THE ENTIRE PROJECT DURATION, INCLUDING TEMPORARY SHUT-DOWN PERIODS, MUST MONITOR AND REPAIR, AS NEEDED, ALL SLOPES TO ENSURE A STABLE PRODUCT.

**GENERAL PROJECT WIDE NOTES**

- FILTREXX FILTER SOXX SHALL BE INSTALLED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, MAINTAINED ON A REGULAR BASIS, AND SHALL BE PLACED TO PREVENT SEDIMENTATION ONTO ADJACENT PROPERTY AND WETLANDS.
- WHERE APPLICABLE THE CONTRACTOR MUST REPLACE AND/OR RESEED ANY VEGETATION THAT DOES NOT DEVELOPE/SURVIVE WITHIN THE PERIOD OF ONE YEAR AND HE SHALL DO SO AT NO ADDITIONAL EXPENSE TO OR THE OWNER.
- ALL FILTREXX FILTER SOXX OR TEMPORARY PROTECTION SHALL REMAIN IN PLACE UNTIL AREA IS STABILIZED WHICH INCLUDES ACCEPTABLE STAND OF GRASS OR APPROVED GROUND COVER IS ESTABLISHED. SLOPES OF 2:1 OR 3:1 SHALL BE STABILIZED WITH FILTREXX VEGETATED COVER, AND OTHER AREAS SHALL BE STABILIZED WITH CRUSHED STONE OR LOAM AND SEED, AS APPROVED BY THE OWNER.
- TREES AND OTHER EXISTING VEGETATION SHALL BE RETAINED WHENEVER FEASIBLE; THE AREA BEYOND THE DRIPLINE SHALL BE FENCED OR ROPED OFF TO PROTECT TREES FROM CONSTRUCTION EQUIPMENT.
- AREAS DAMAGED DURING CONSTRUCTION SHALL BE STABILIZED, OR OTHERWISE RESTORED AT THE CONTRACTOR'S EXPENSE.
- UNLESS REFERENCED ON THE PLANS, STOCKPILES SHALL HAVE NO SLOPE STEEPER THAN 2:1 AND SHALL BE SURROUNDED BY STAKED FILTERSOXX.
- STOCKPILES EXPOSED FOR EXCESSIVE PERIODS SHALL RECEIVE TEMPORARY TREATMENT CONSISTING OF HAY, STRAW, FIBER MATTING OR APPROVED EQUAL.

**FILTREXX SOXX NOTE**

- CONTRACTOR SHALL BE FILTREXX CERTIFIED AS DETERMINED BY FILTREXX INTERNATIONAL LLC, OR USE A FILTREXX CERTIFIED SUB-CONTRACTOR FOR THE INSTALLATION. CERTIFICATION SHALL BE SUBMITTED TO THE TOWN OF SOUTH KINGSTOWN PUBLIC SERVICES DEPARTMENT PRIOR TO CONSTRUCTION.
- UPON APPROVAL FROM ENGINEER, AN ALTERNATIVE EROSION CONTROL WADDLE MAY BE USED AS A SUBSTITUTE TO THE FILTREXX FILTER SOXX. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR APPROVAL.



**NOTES**

- STOCKPILE, CONSTRUCTION VEHICLE FUELING AND WASHDOWN AREAS SHOWN ARE CONCEPTUAL. LOCATIONS MAY BE MODIFIED BUT MUST BE WITHIN PERIMETER EROSION CONTROLS.
- THE EXTENT AND LOCATION OF THE PERIMETER EROSION CONTROLS MAY VARY WITH THE BUILDING(S) BEING CONSTRUCTED.

**SITE PLAN**

SCALE: 1"=50'

**LEGEND**

- LIMIT OF DISTURBANCE
- - - - - FILTREXX FILTER SOXX EROSION CONTROL

**CROSSMAN ENGINEERING**  
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**KEY PLAN**

**PROJECT TITLE:**  
**HAMPTON PLACE**  
PLAT MAP 50-4, LOT 24  
ZONING DISTRICT SMD  
ROUTE 1 SPECIAL  
MANAGEMENT DISTRICT

4847 TOWER HILL ROAD  
SOUTH KINGSTOWN, RI

**PREPARED FOR:**

**CHATHAM PROPERTIES, LLC**

2790 SOUTH COUNTY TRAIL  
EAST GREENWICH, RI

**DRAWING TITLE:**  
**SOIL EROSION and  
SEDIMENT CONTROL PLAN**

**DATE:** MAY 2014 **SCALE:** AS NOTED  
**DWG. NAME:** 1997-C09-SOIL-R7.dwg

**REVISIONS**

NUMBER	REMARKS	DATE
1	LANDSCAPING AND DRIVEWAY	06/03/14
2	PLANNING BOARD COMMENTS	06/20/14
3	TRC COMMENTS	06/27/14
4	SNOW AND LANDSCAPING	07/23/14
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6	LAYOUT CHANGES	03/04/15
7	PROPOSED SIGN & LANDSCAPING	04/03/15

**DRAWING NUMBER**  
**C9**  
SHEET: 11 OF 20

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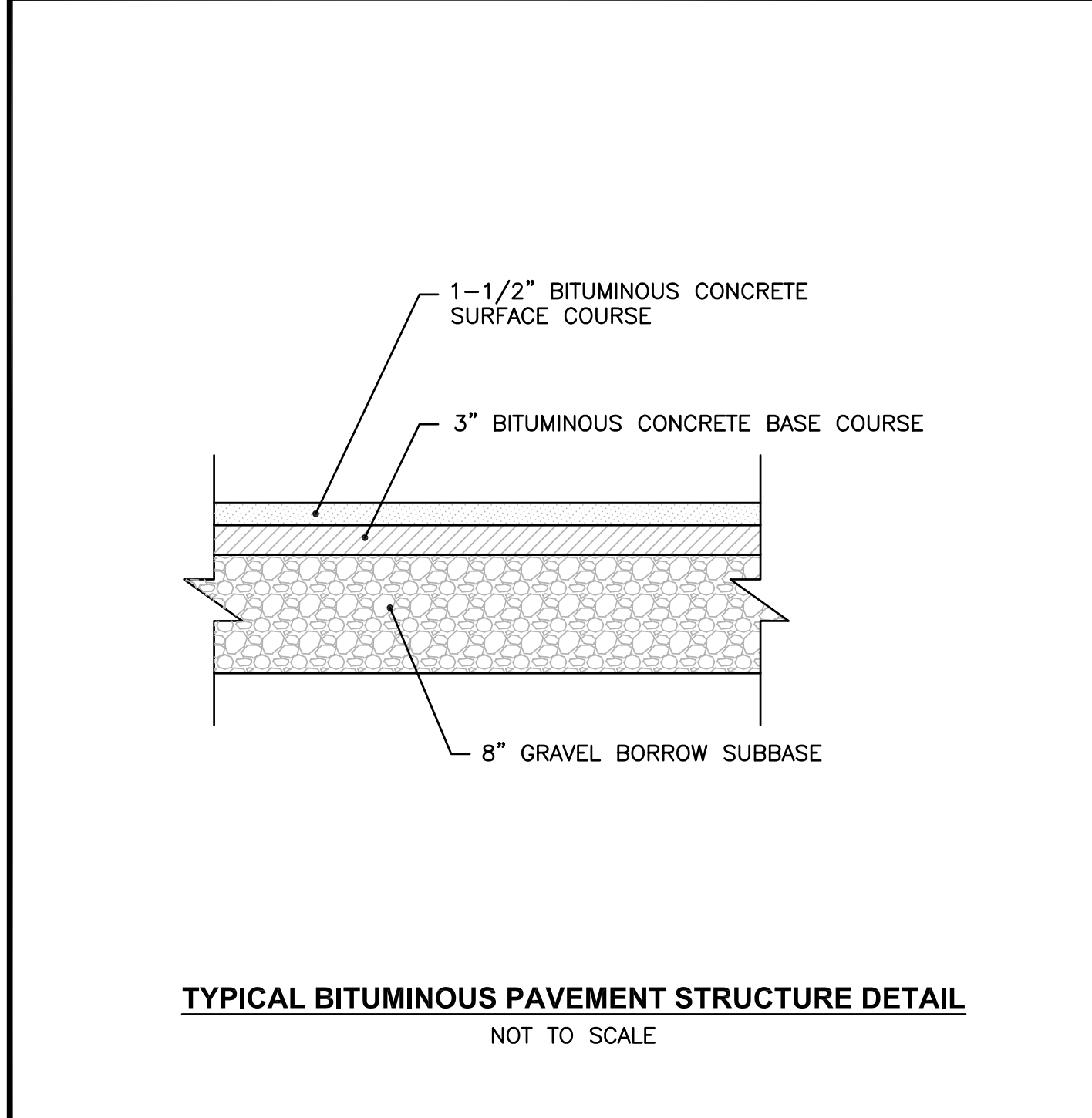
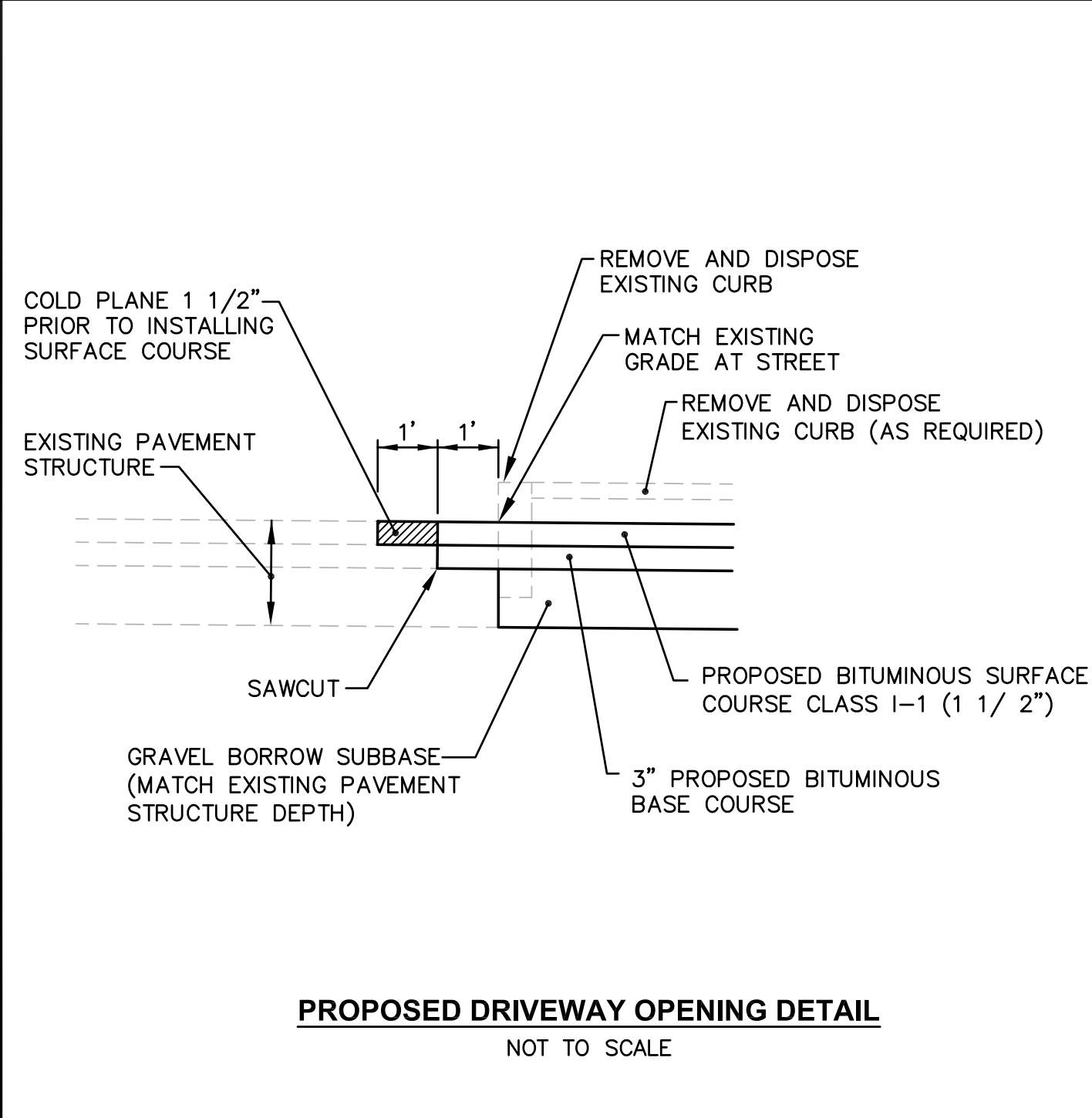
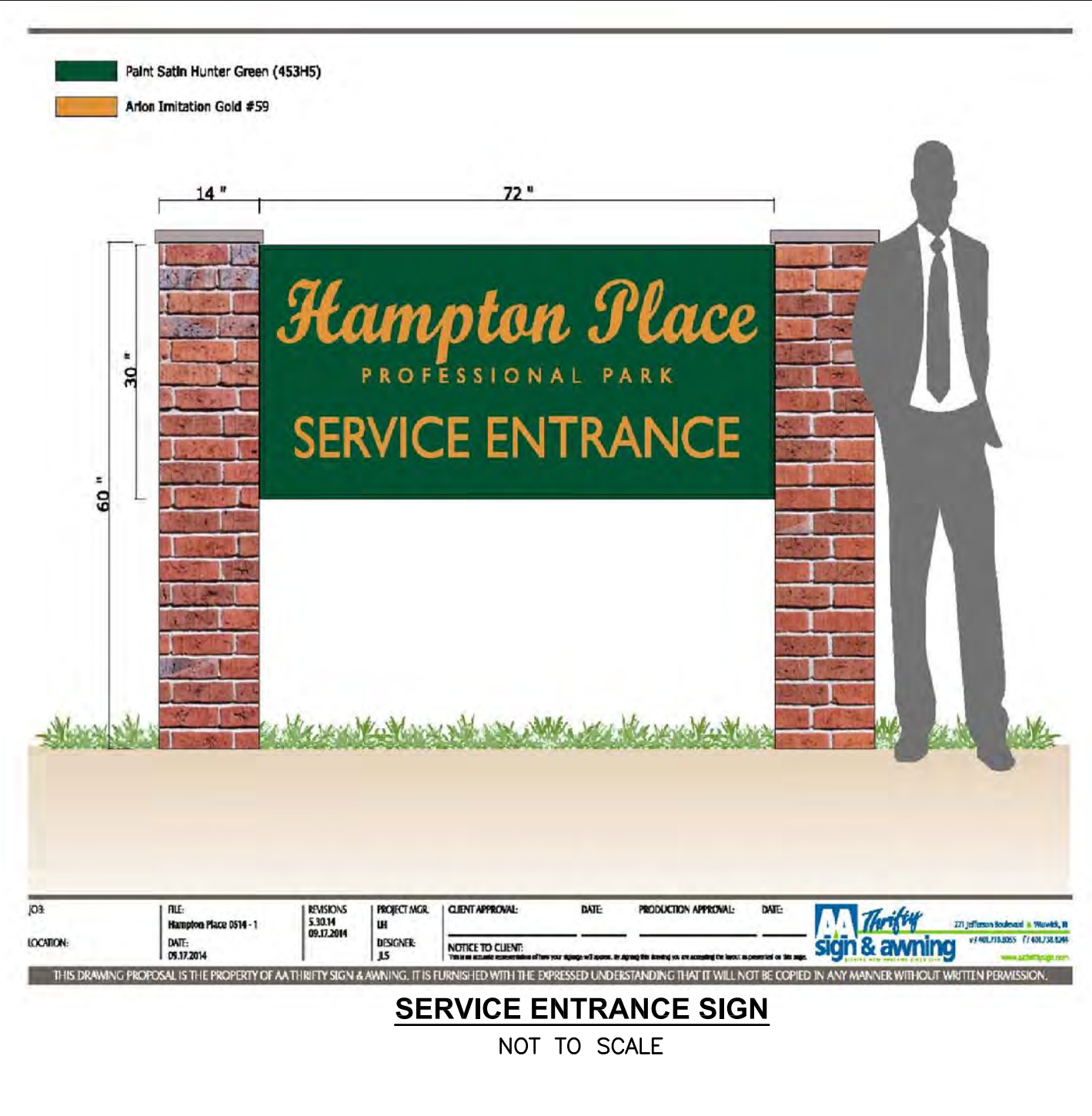
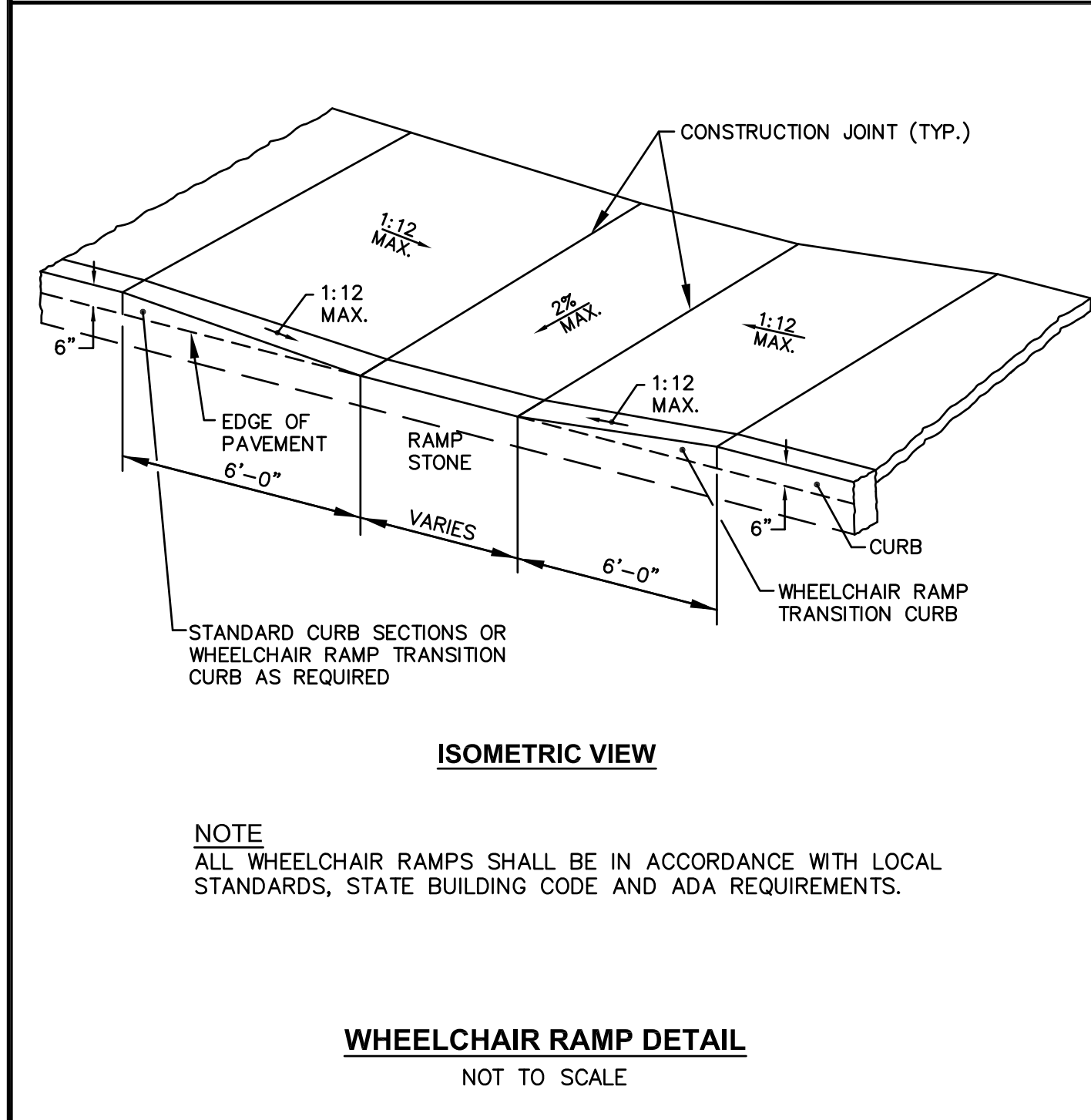
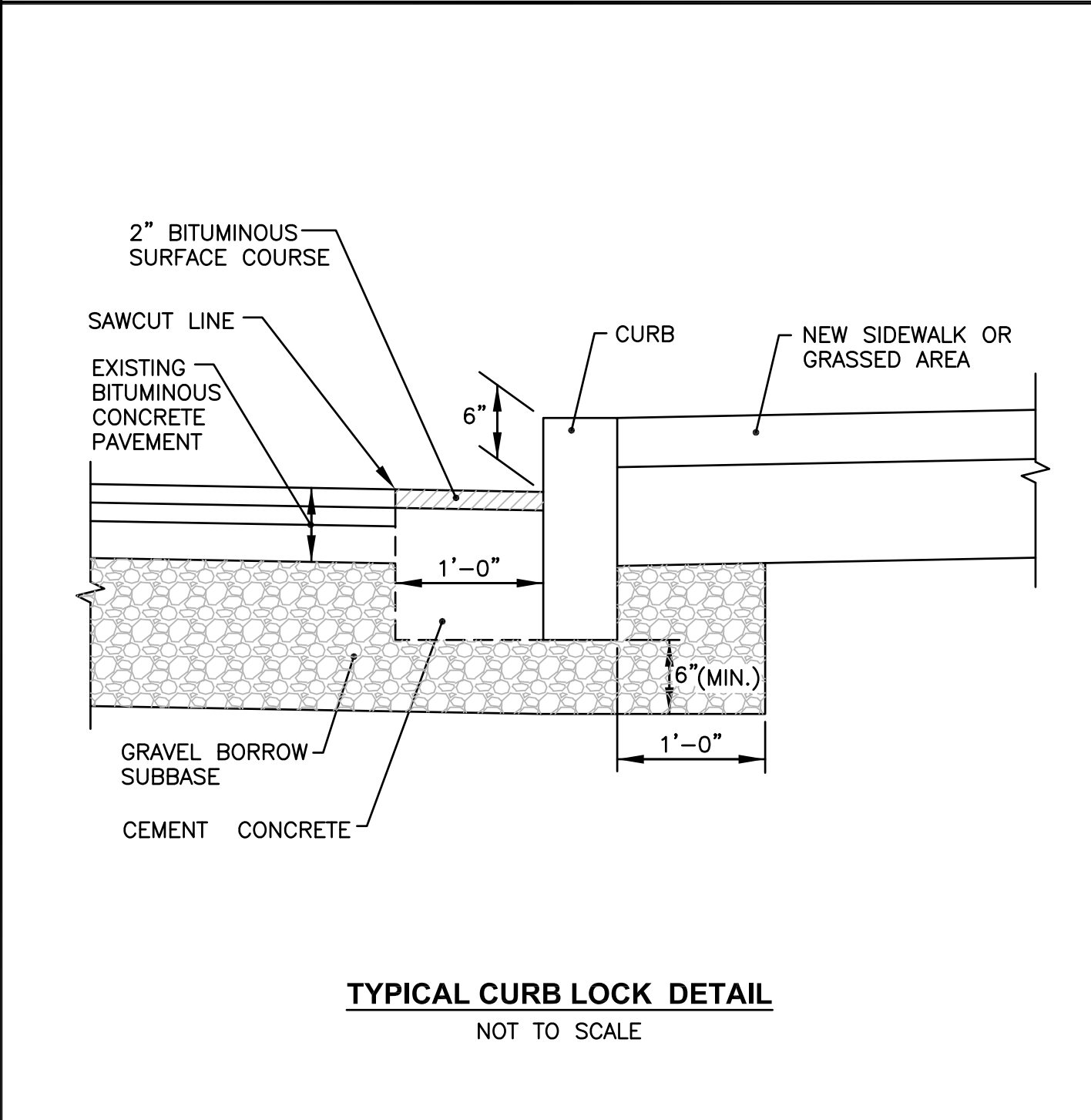
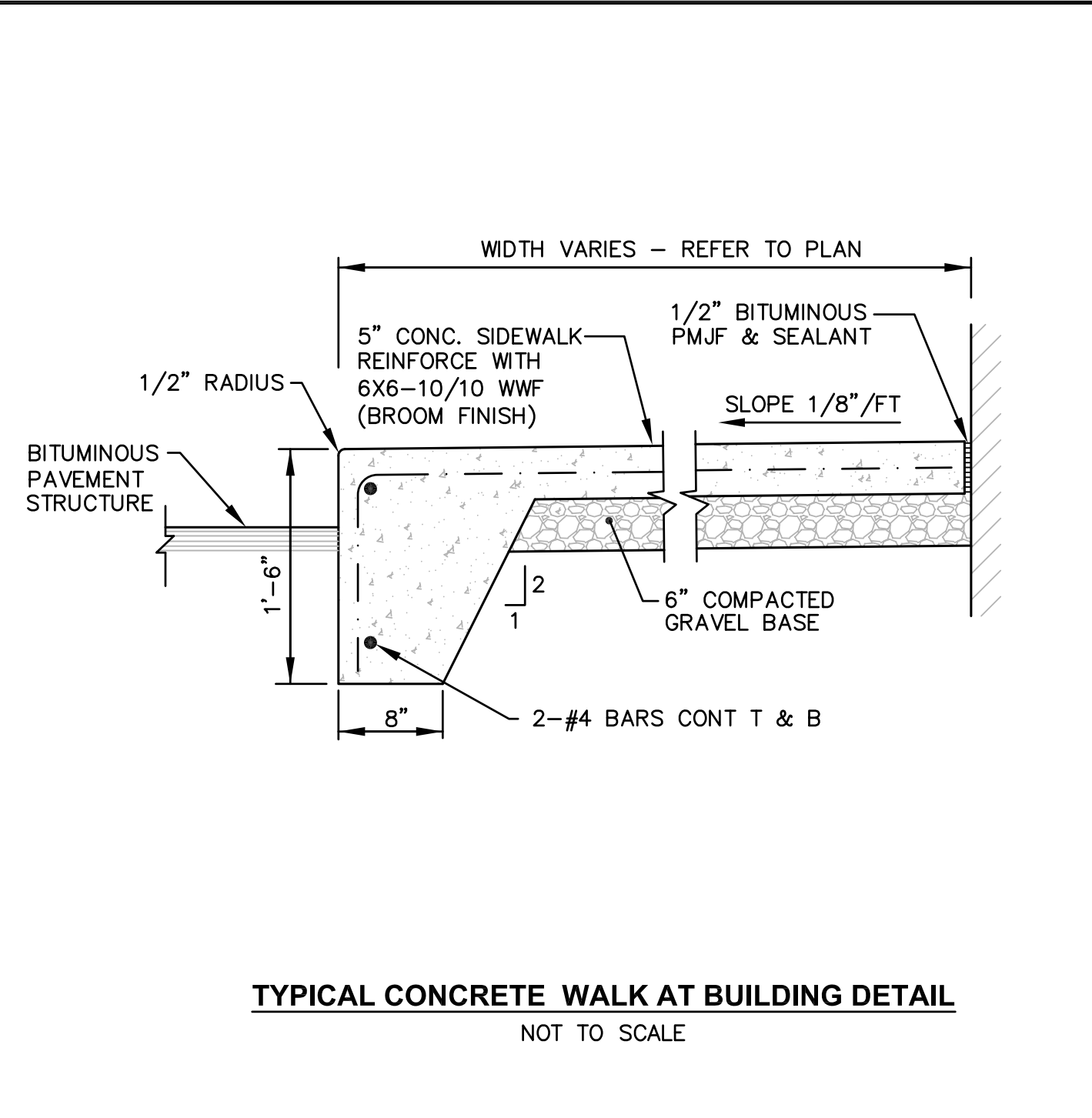
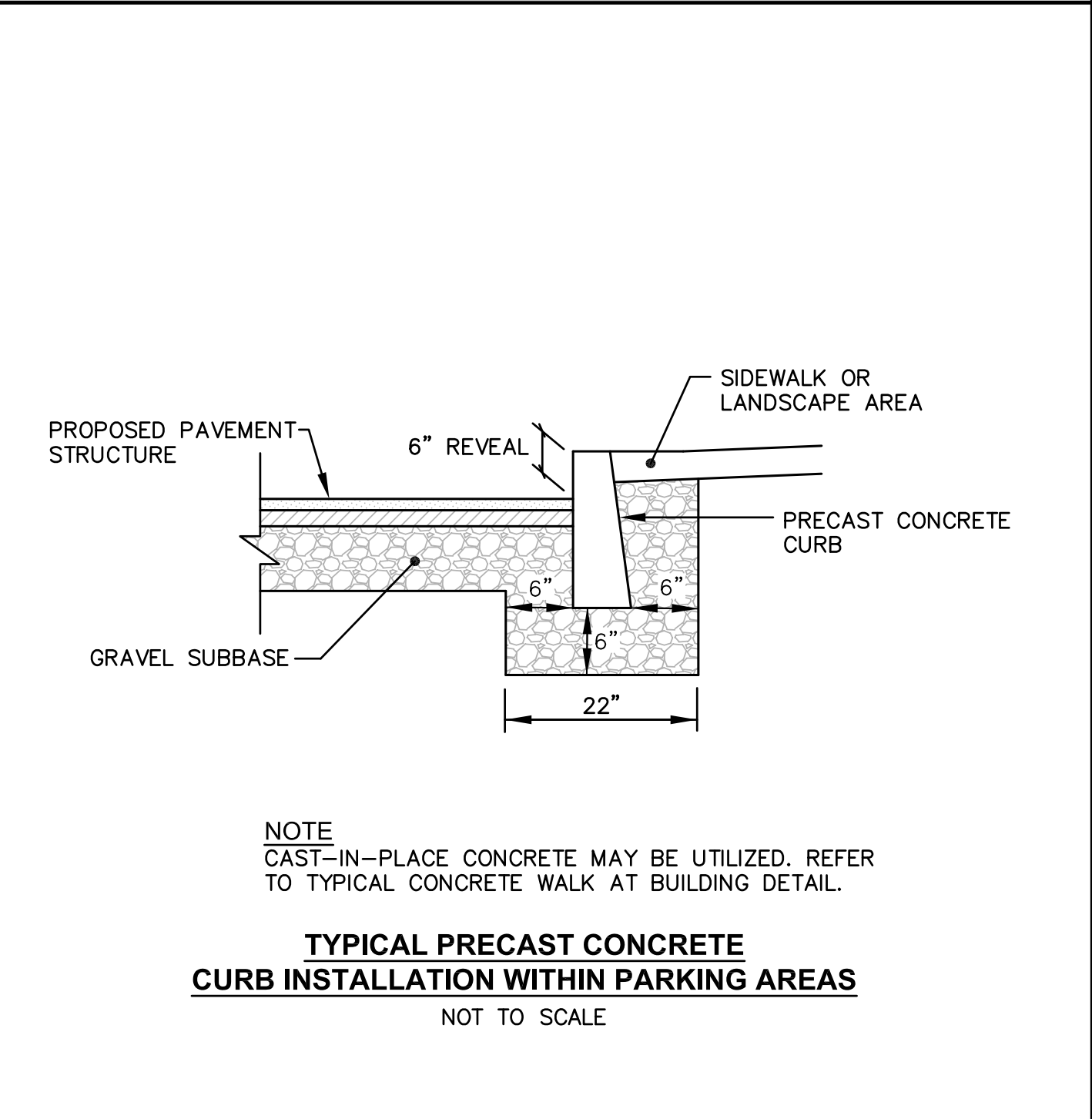
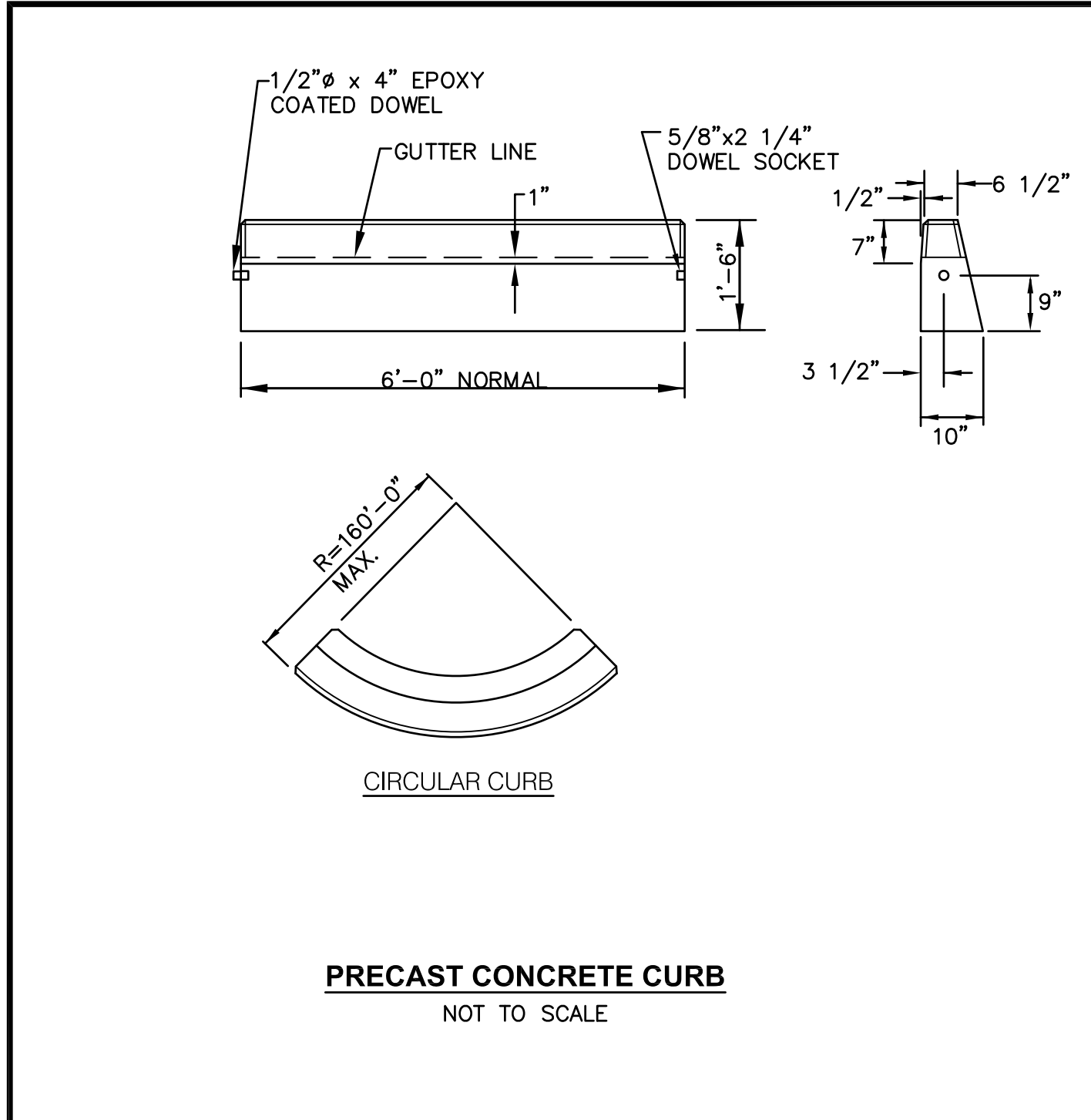
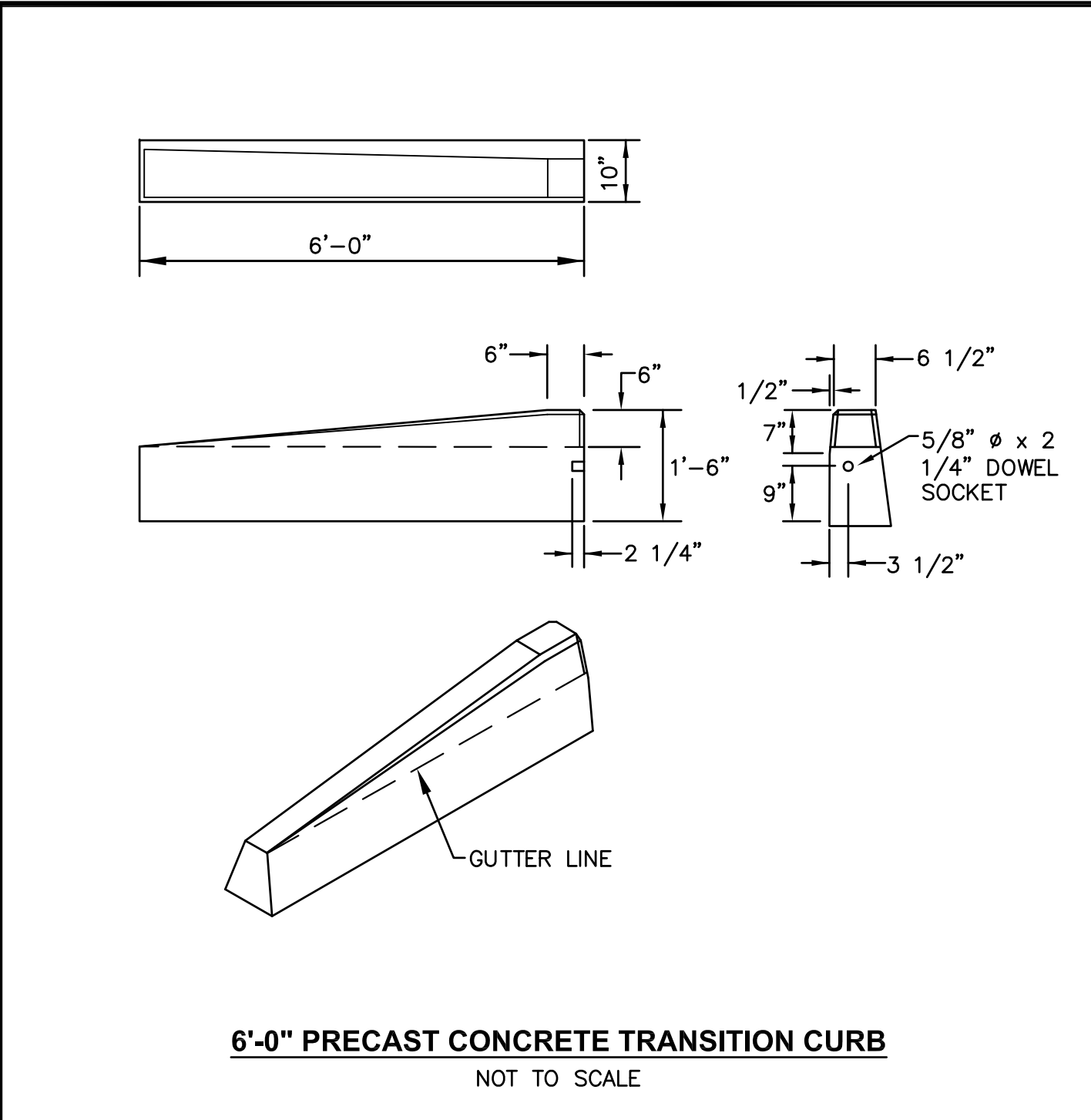
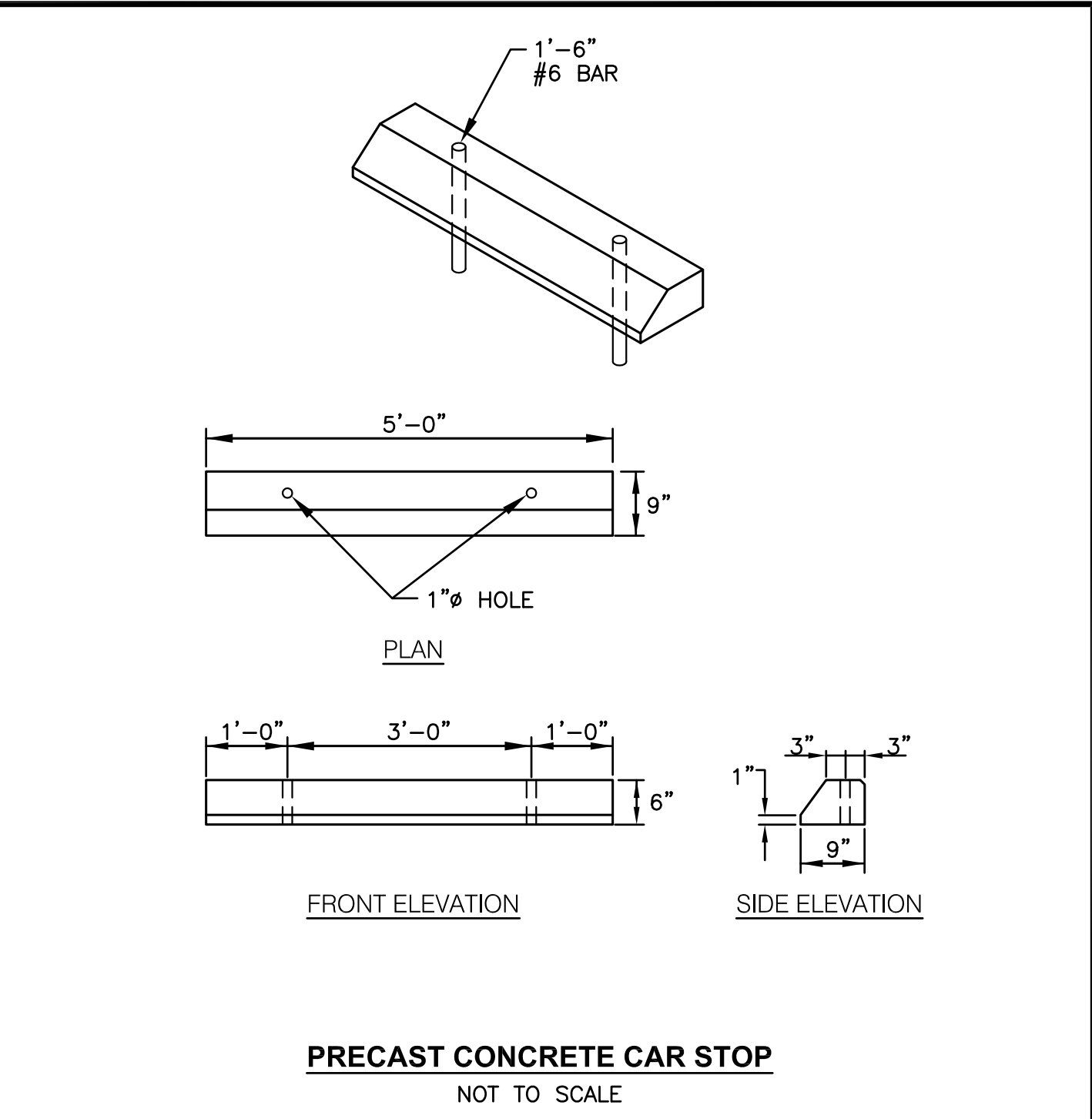
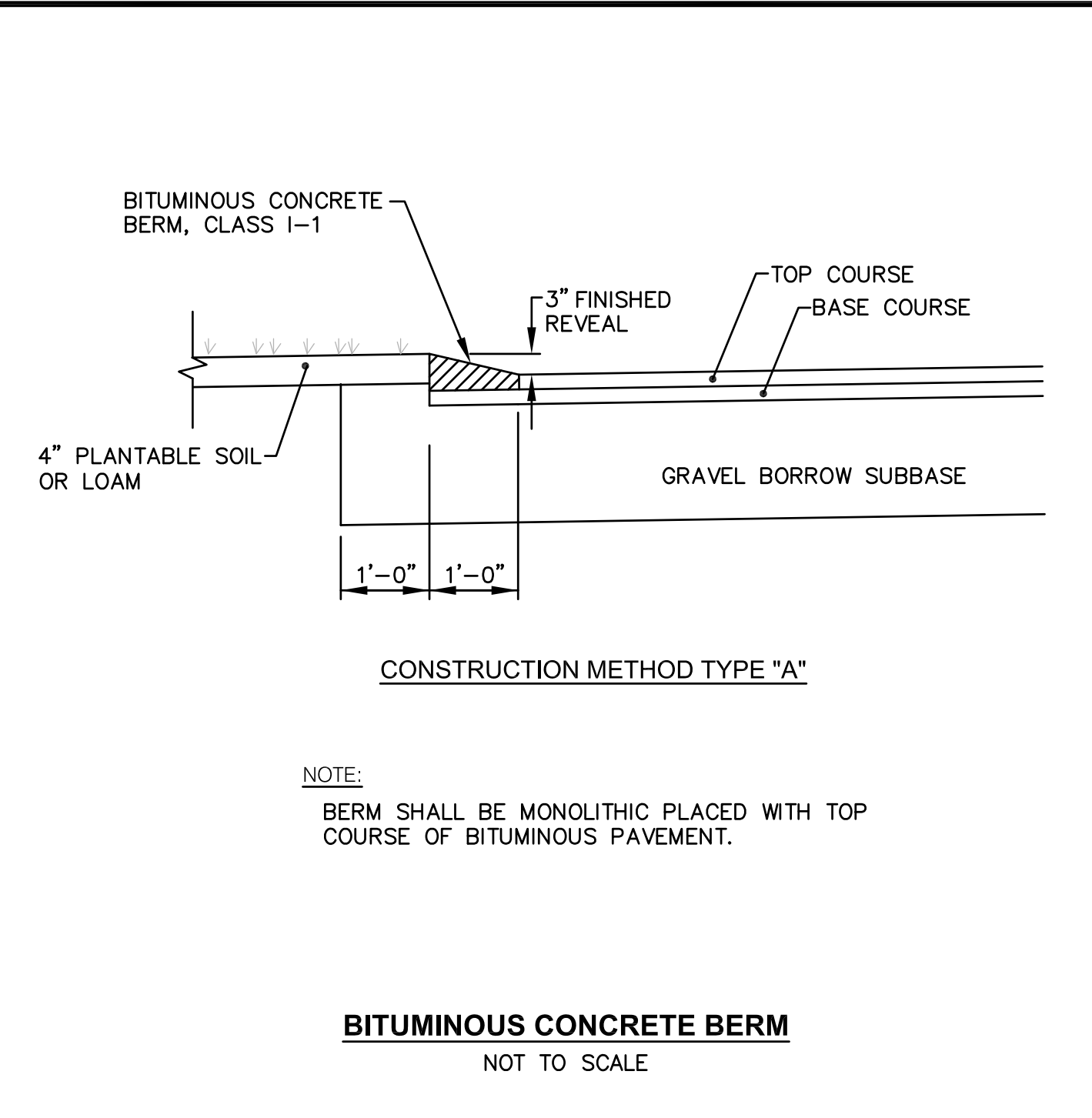
PREPARED FOR:  
**CHATHAM PROPERTIES, LLC**  
 2790 SOUTH COUNTY TRAIL  
 EAST GREENWICH, RI

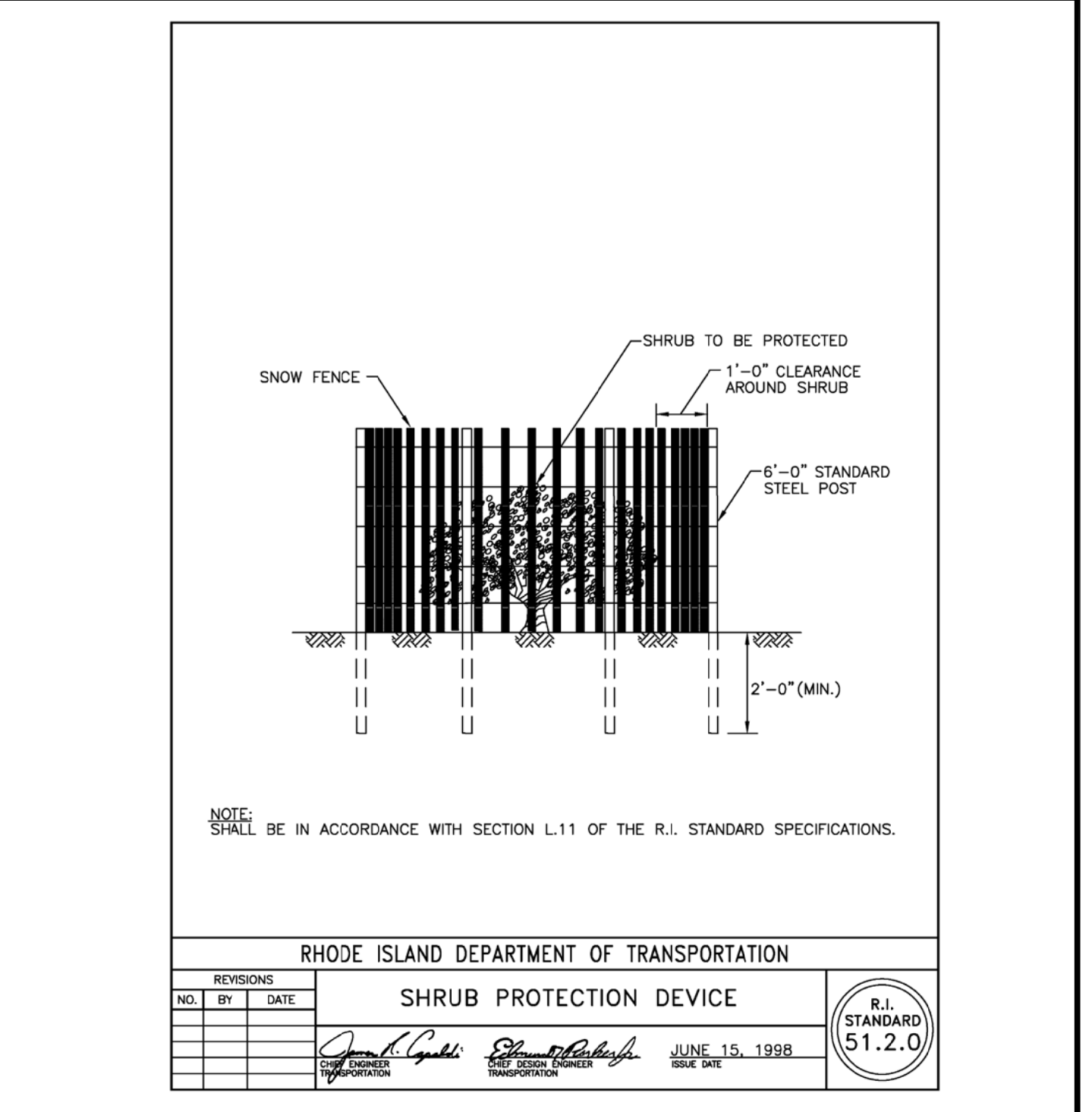
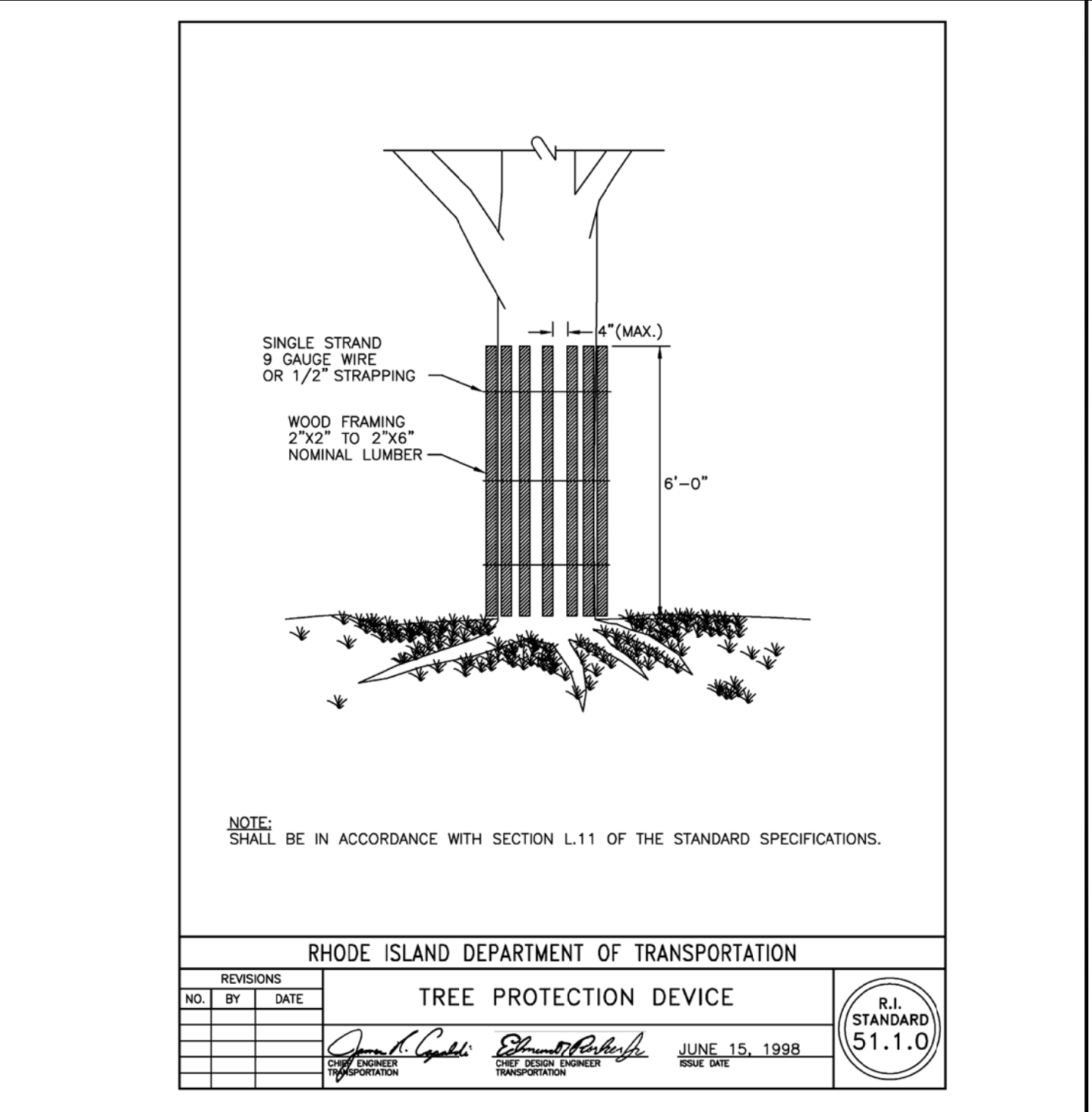
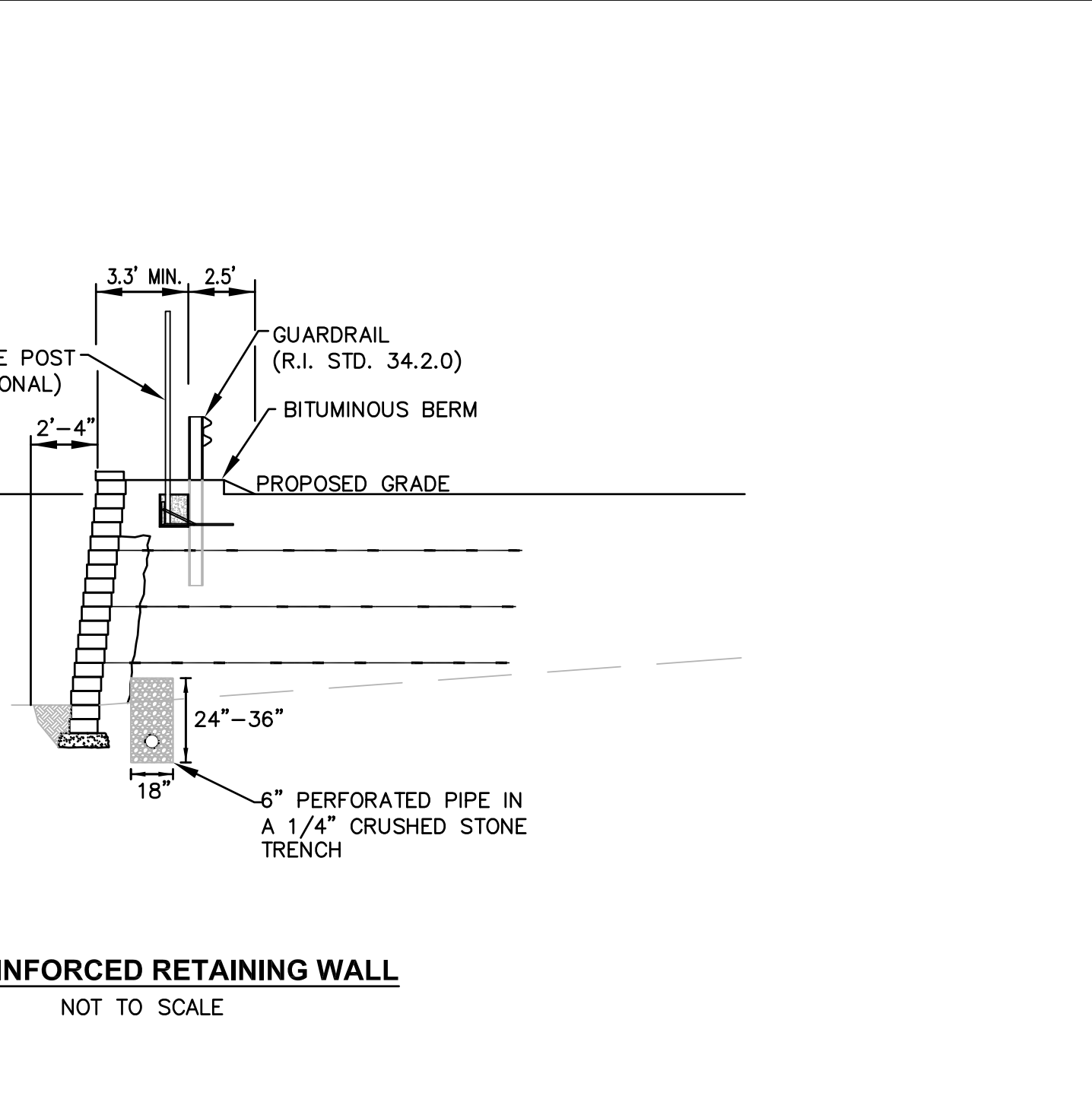
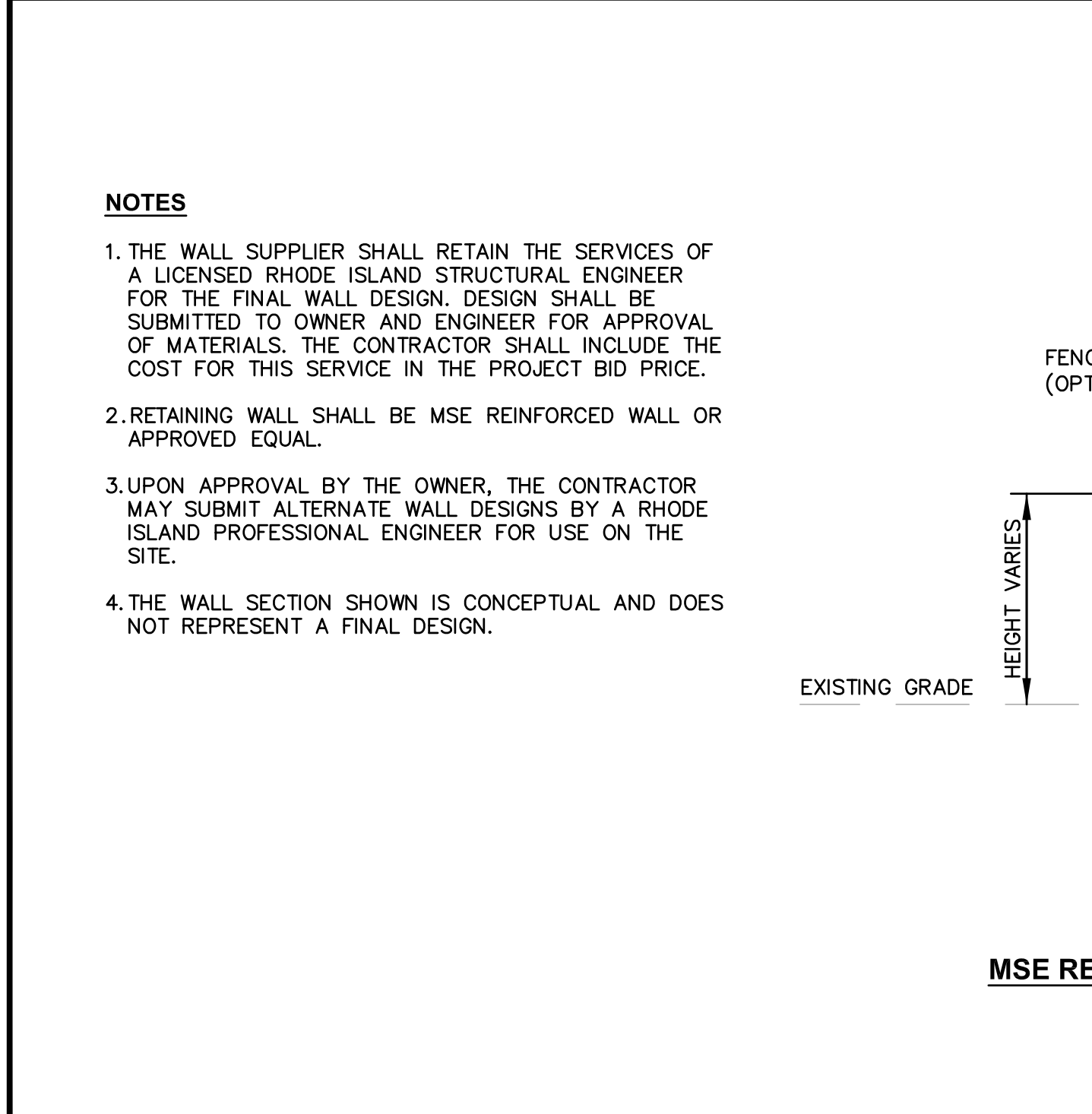
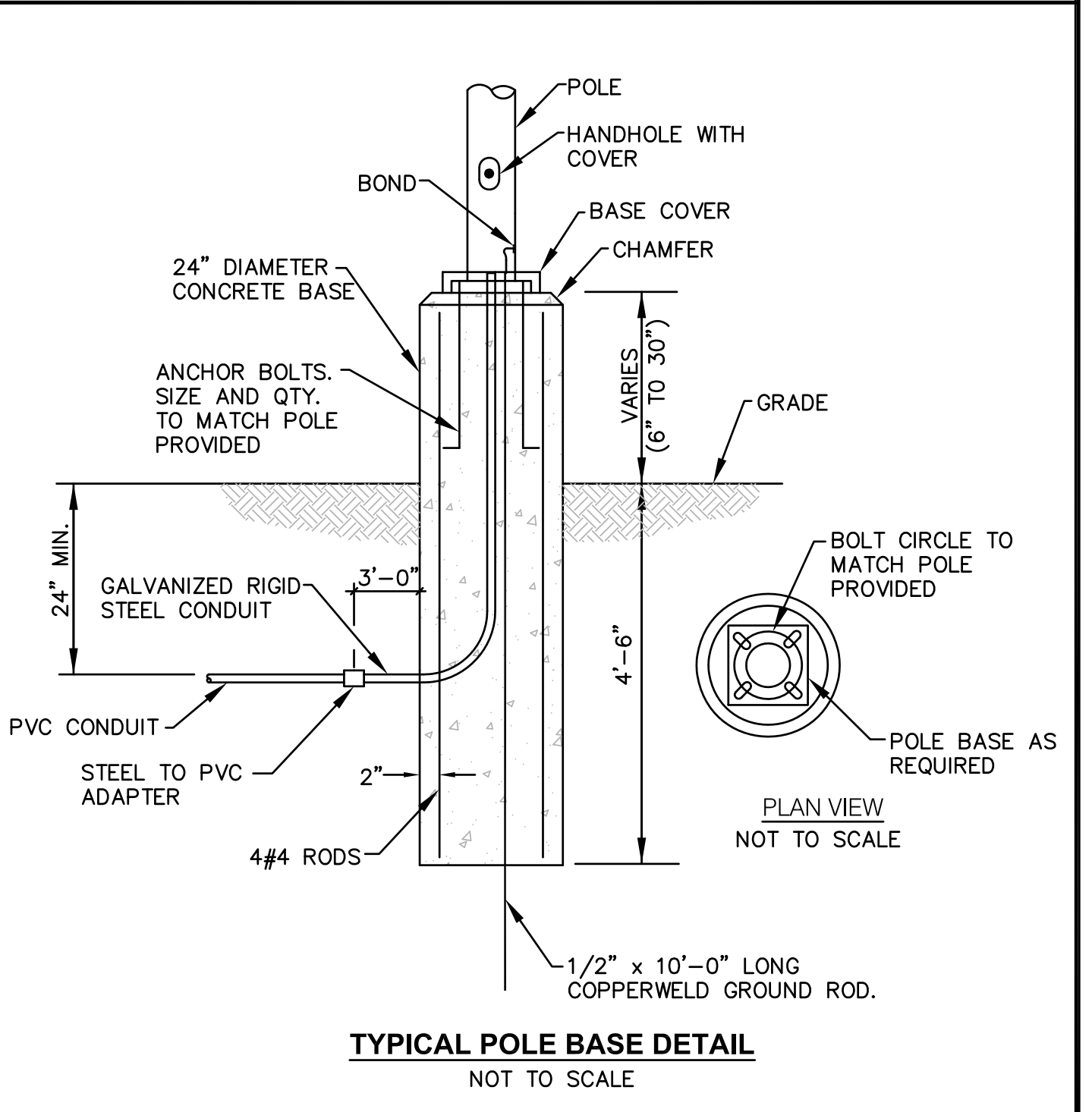
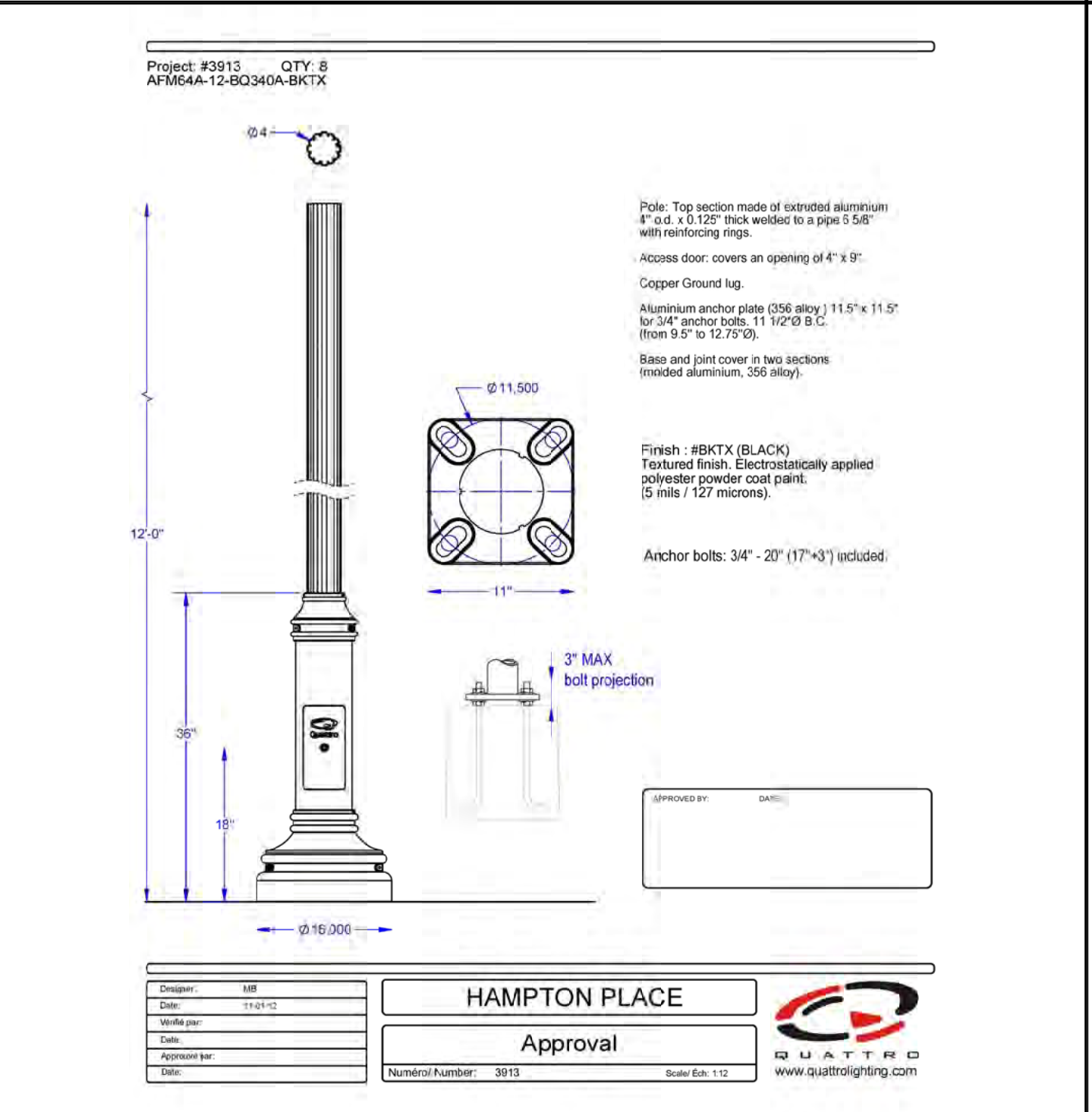
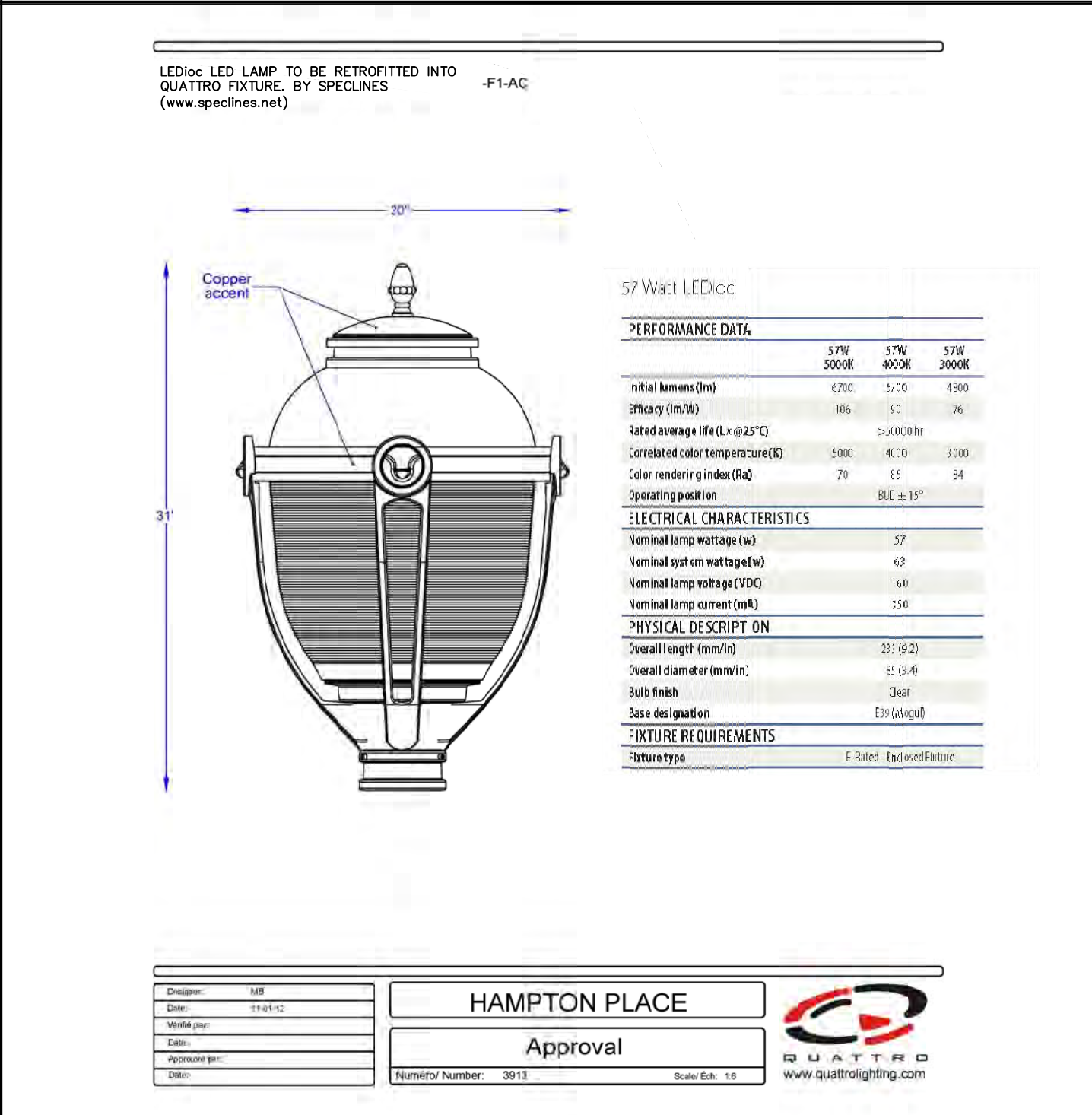
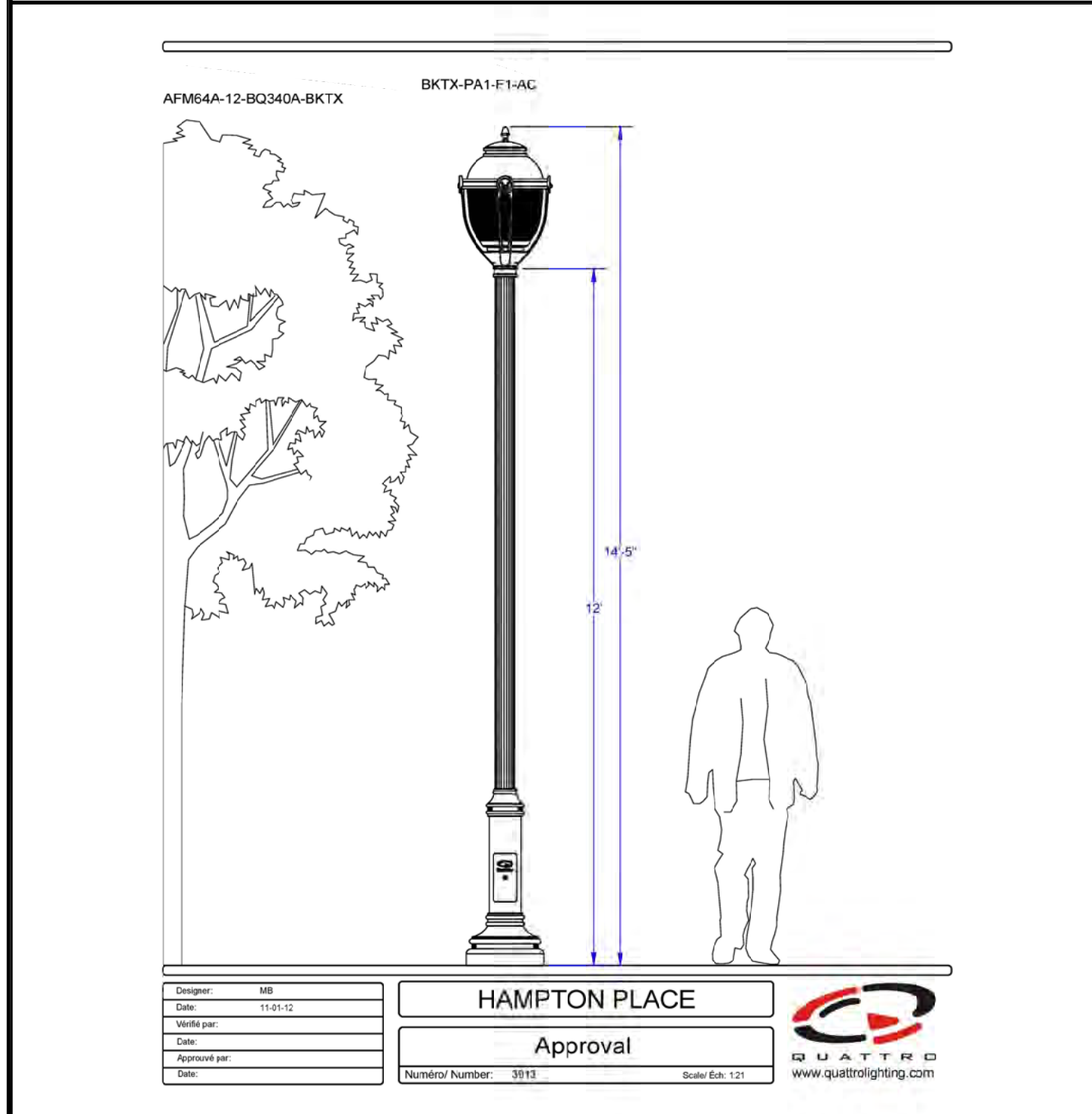
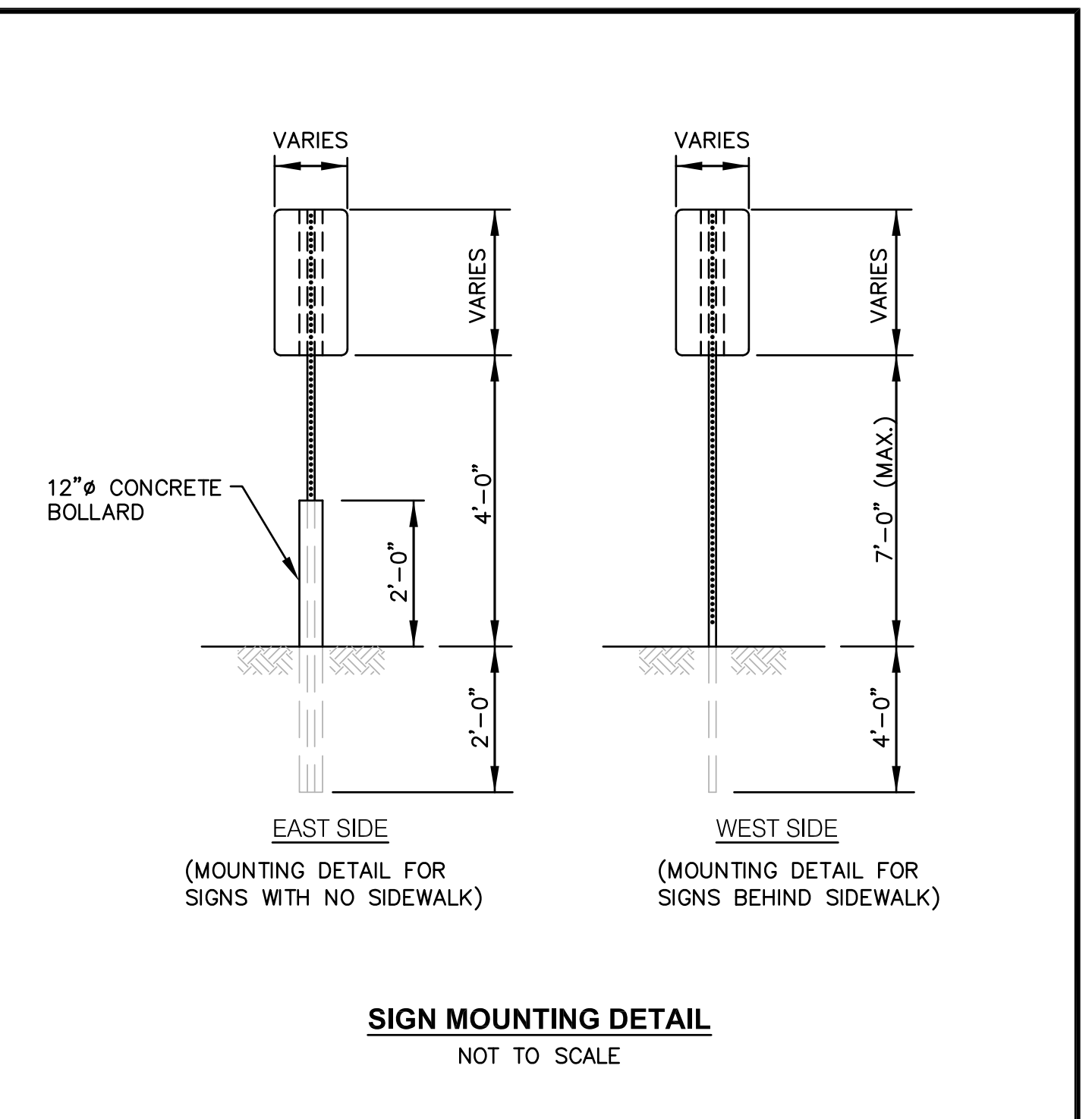
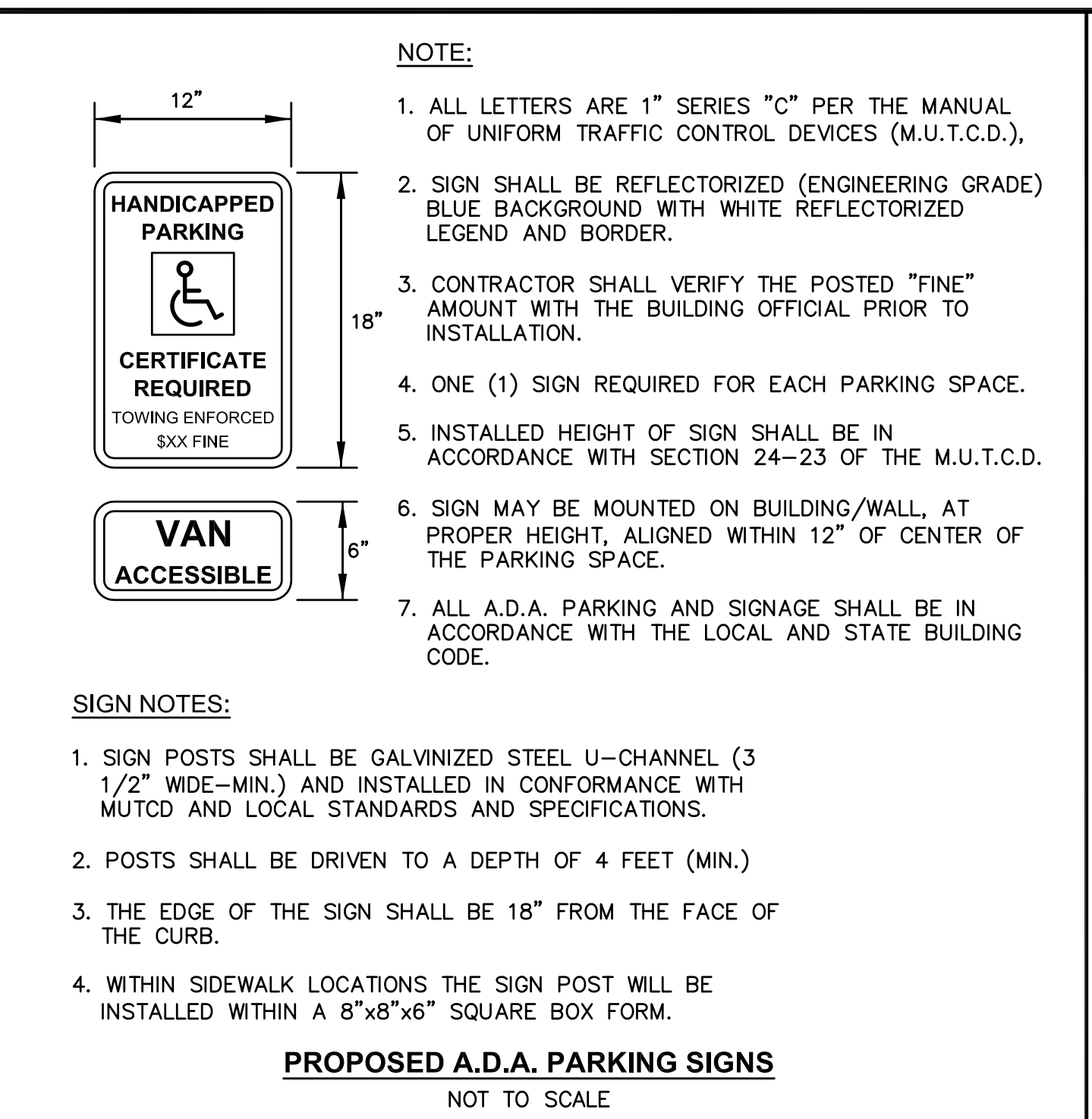
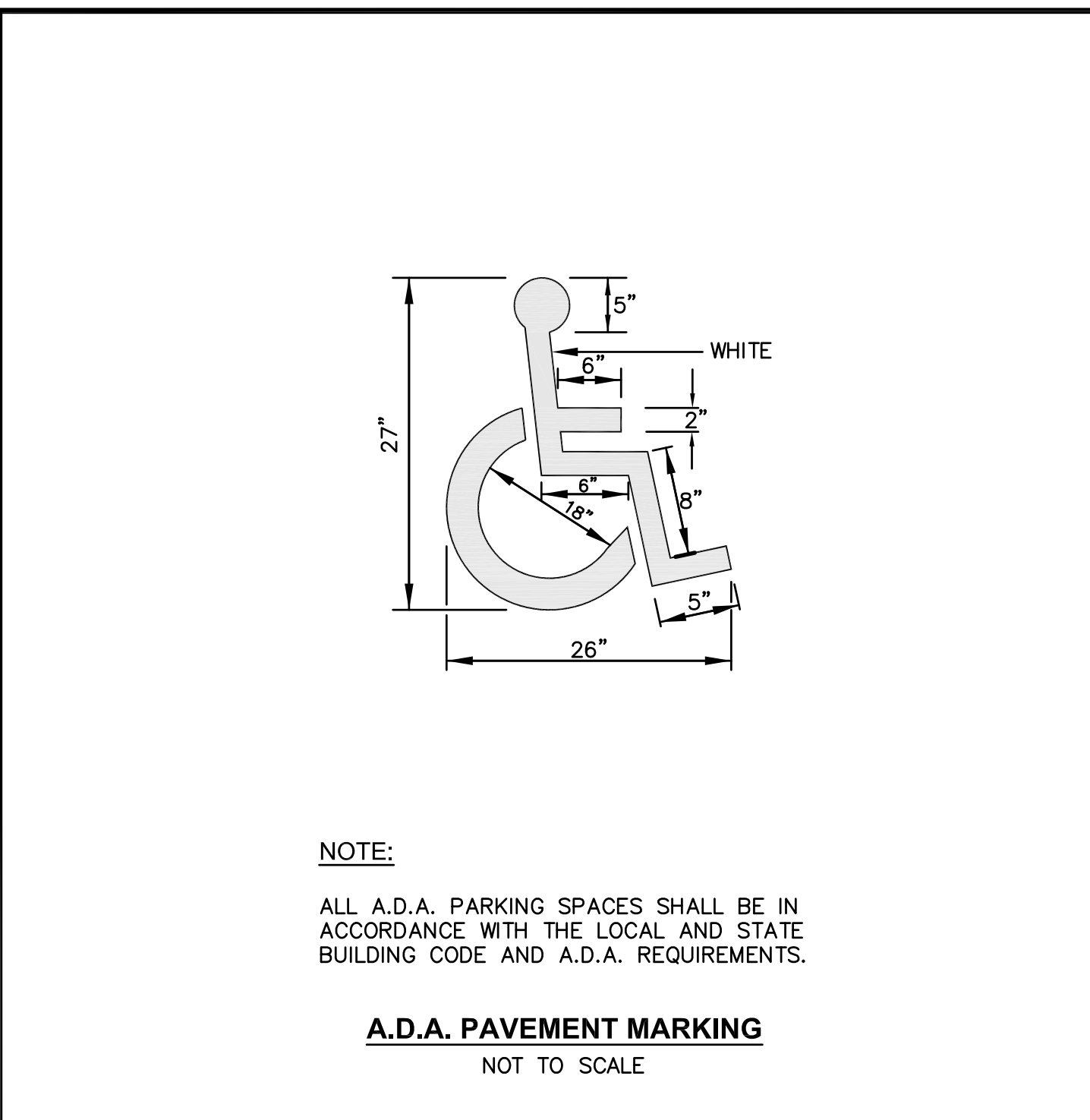
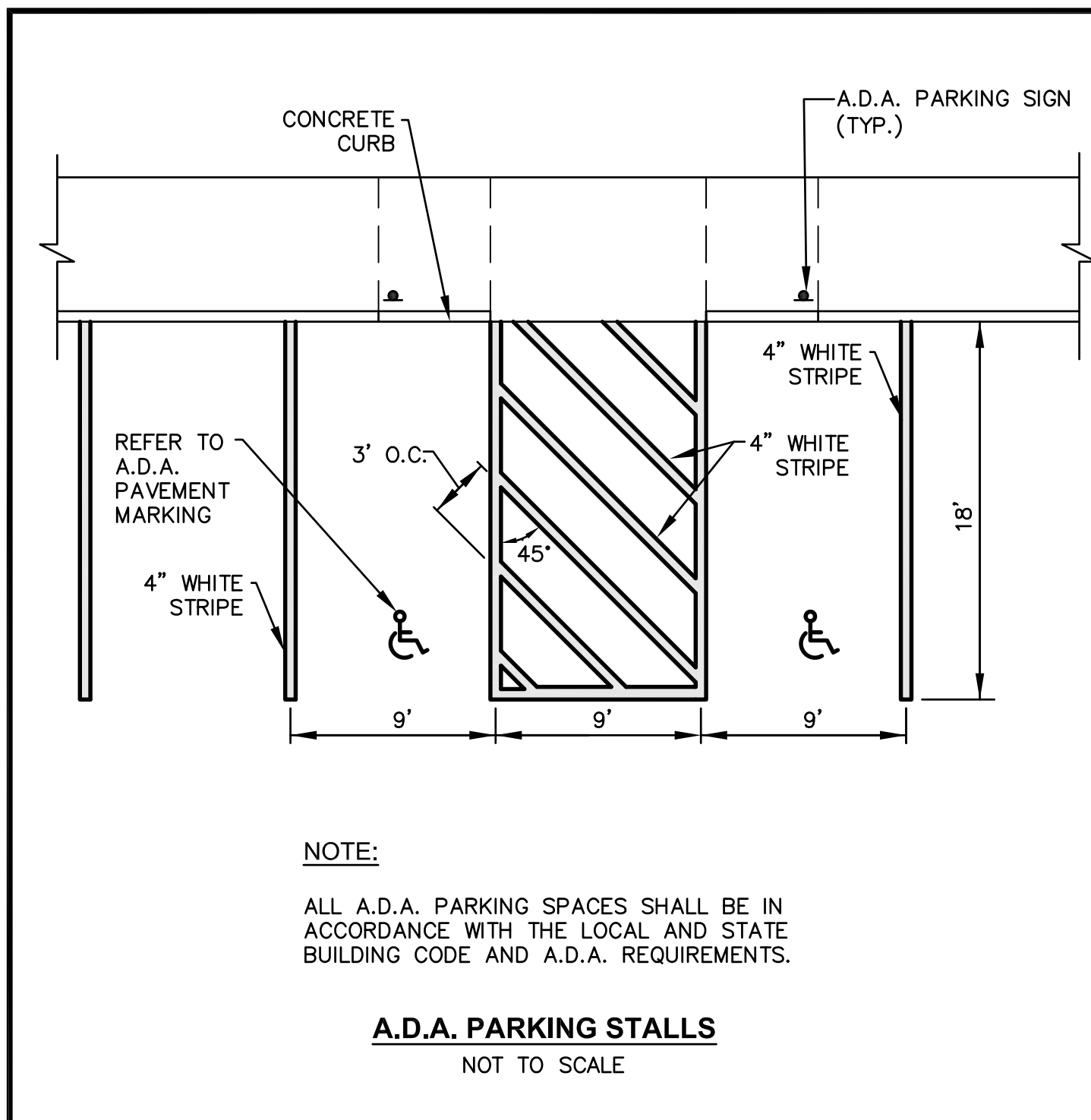
DRAWING TITLE:  
**MISCELLANEOUS  
 DETAILS PLAN No. 1**

DATE: MAY 2014      SCALE: AS SHOWN  
 DWG. NAME: 1997-C10-DETAIL1-R7.dwg

NUMBER	REMARKS	DATE
1	LANDSCAPING AND DRIVEWAY	06/03/14
2	PLANNING BOARD COMMENTS	06/20/14
3	TRC COMMENTS	06/27/14
4	SNOW AND LANDSCAPING	07/23/14
5	PLANNING BOARD COMMENTS	09/04/14
6	LAYOUT CHANGES	03/04/15
7	PROPOSED SIGN & LANDSCAPING	04/03/15

DRAWING NUMBER  
**C10**  
 SHEET: 12 OF 20





**CROSSMAN ENGINEERING**  
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Phone: (401) 738-5660 | Fax: (401) 738-8157  
Email: cel@crossmaneng.com

• Civil  
• Transportation  
• Environmental  
• Site Planning  
• Landscape Architecture  
• Land Surveying

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**KEY PLAN**

**PROJECT TITLE:**  
HAMPTON PLACE  
PLAT MAP 50-4, LOT 24  
ZONING DISTRICT SMD  
ROUTE 1 SPECIAL  
MANAGEMENT DISTRICT

4847 TOWER HILL ROAD  
SOUTH KINGSTOWN, RI

**PREPARED FOR:**  
CHATHAM PROPERTIES, LLC  
2790 SOUTH COUNTY TRAIL  
EAST GREENWICH, RI

**DRAWING TITLE:**  
MISCELLANEOUS  
DETAILS PLAN No. 2

**DATE:** MAY 2014      **SCALE:** AS SHOWN

**DWG. NAME:** 1997-C11-DETAIL2-R7.dwg

**REVISIONS**

NO.	BY	DATE

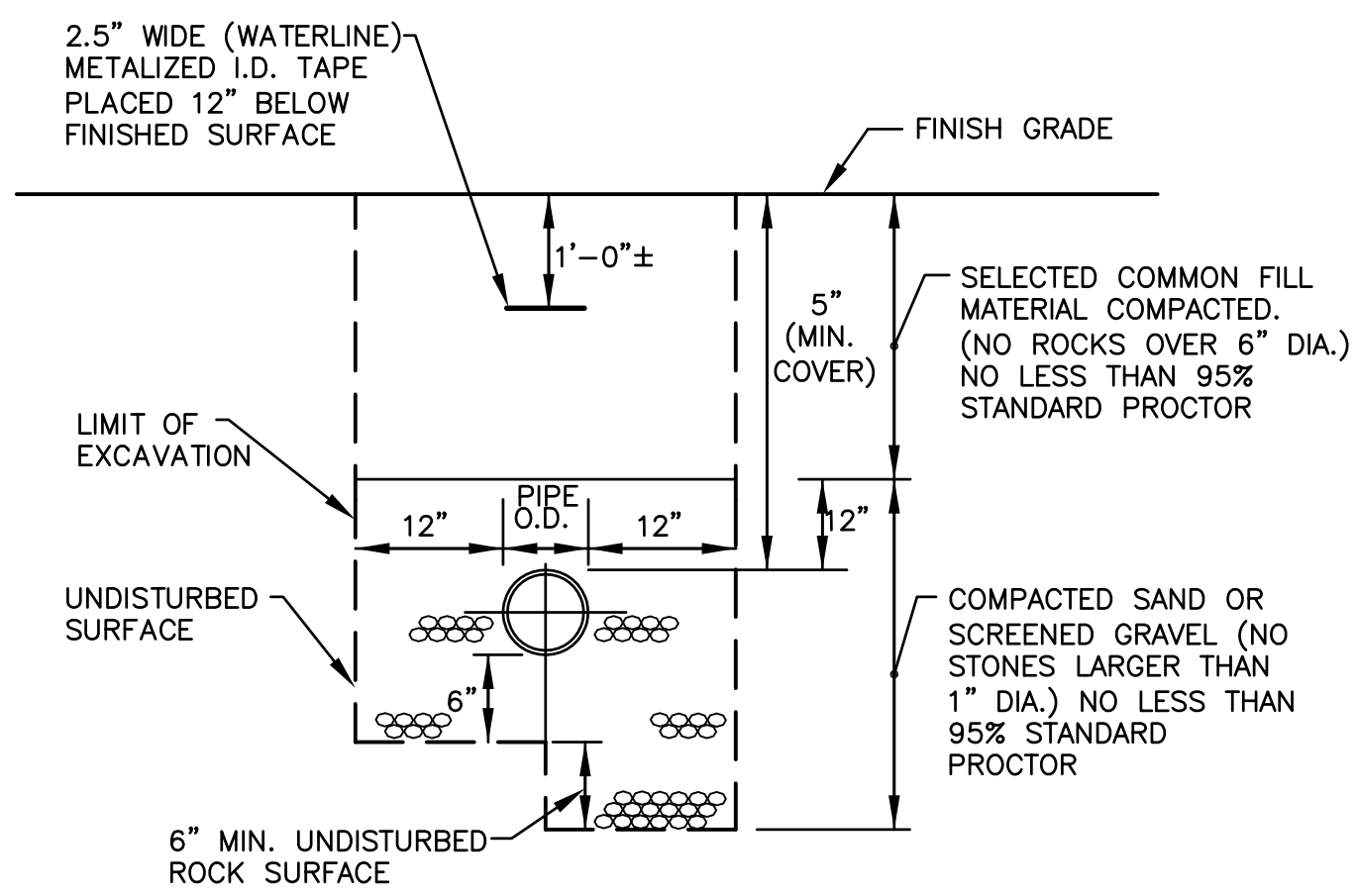
**DRAWING NUMBER**  
**C11**  
SHEET 13 OF 20

**GENERAL SEWER NOTES**

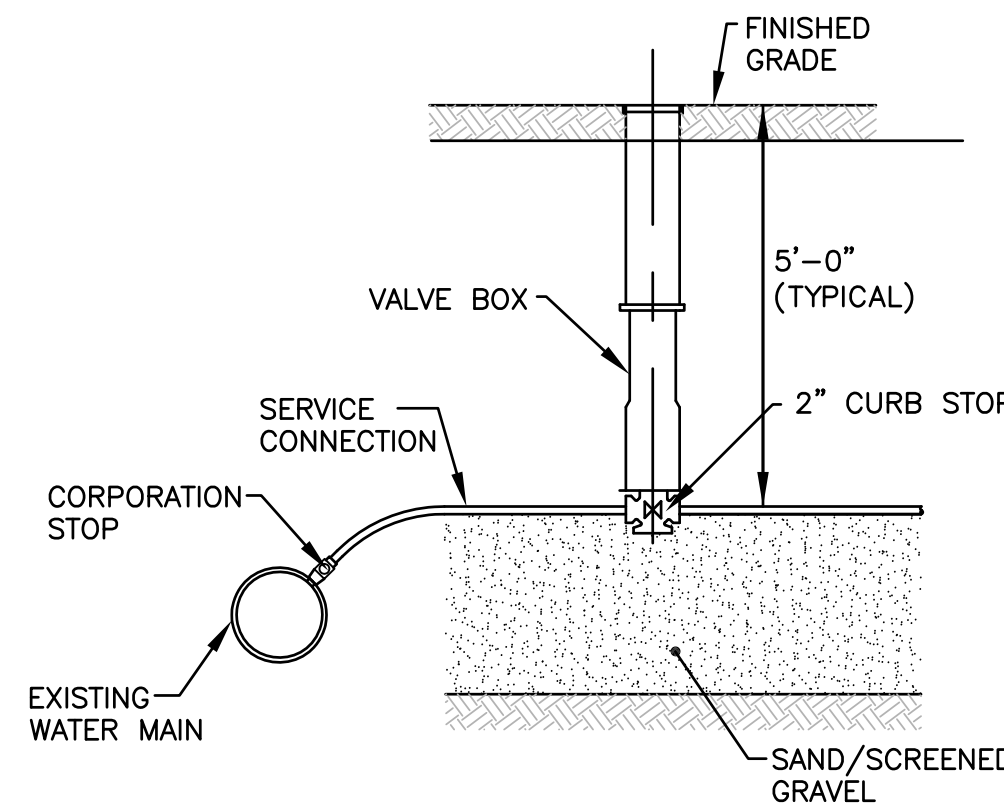
1. INSTALLATION OF THE SEWERAGE PIPE SHALL BE IN ACCORDANCE WITH THE SOUTH KINGSTOWN PUBLIC SERVICES SPECIFICATIONS AND REQUIREMENTS.
2. PRIOR TO RECEIVING AUTHORIZATION TO CONSTRUCT, SHOP DRAWINGS OF ALL MATERIALS MUST BE PROVIDED TO THE ENGINEER FOR REVIEW. ALL MATERIALS SHALL MEET THE STANDARDS OF THE SOUTH KINGSTOWN PUBLIC SEWER DEPARTMENT.
3. AS-BUILT DRAWINGS SHALL BE FURNISHED BY THE CONTRACTOR AS A CONDITION FOR OWNER ACCEPTANCE OF THE NEW SEWER CONNECTION.
4. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE APPROVED PLAN AND MATERIALS, STANDARDS AND SPECIAL DETAILS, AND STANDARD SPECIFICATIONS. ANY WORK NOT MEETING THE APPROVED STANDARDS SHALL BE IMMEDIATELY REMOVED AND REPLACED AT THE CONTRACTOR'S EXPENSE.
5. THE CONTRACTOR SHALL CONFINE HIS OPERATIONS AND ACTIVITIES FOR CONSTRUCTION WITHIN THE LIMITS OF WORK AS SHOWN ON THE DRAWINGS.
6. ALL AREAS DISTURBED BY THE CONTRACTOR SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AT NO EXTRA COST TO THE OWNER. ALL GRASSED AREAS DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE LOAMED AND SEEDED.
7. LOCATION AND DEPTHS OF EXISTING UTILITIES ARE APPROXIMATE. UTILITIES SHOWN ON MAP 49-3 LOT 6 HAVE BEEN OBTAINED FROM AS-BUILT PLANS PREPARED BY COLER & COLANTONIO INC., ENGINEERS AND SCIENTISTS, 101 ACCORD PARK DRIVE, NORWELL, MA, 02061-1685.
8. THE CONTRACTOR SHALL VERIFY LOCATIONS OF ALL EXISTING UTILITIES AND NOTIFY THE APPROPRIATE UTILITY AUTHORITIES INCLUDING "DIG-SAFE" PRIOR TO STARTING WORK. ANY DAMAGE TO UTILITIES CAUSED BY THE CONTRACTOR'S OPERATIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND THE COST OF REPAIRS SHALL BE BORNE BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
9. THE PROPOSED GRAVITY SANITARY SEWER PIPES SHALL BE 6" SDR-35.
10. NEW PIPE CONNECTIONS TO EXISTING PIPE SHALL USE PVC COUPLING OR FLEXIBLE COUPLING AS APPROPRIATE. ALL CONNECTIONS SHALL BE IN ACCORDANCE WITH THE SOUTH KINGSTOWN PUBLIC SERVICES SPECIFICATIONS AND REQUIREMENTS.

**GENERAL WATER NOTES**

1. ALL INSTALLATION, JOINTS, CONSTRUCTION METHODS AND MATERIALS SHALL CONFORM TO THE CURRENT RULES AND REGULATIONS OF THE UNITED WATER OF RHODE ISLAND, AWWA STANDARDS AND GOVERNMENTAL REQUIREMENTS.
2. CONSTRUCTION SHALL INCLUDE ALL PIPE, JOINTS, BENDS, TEES, FITTINGS, THRUST BLOCKS, GATE VALVES, GATE BOXES, SERVICE CONNECTIONS, METERS, BACKFLOW ASSEMBLY AND ALL MISCELLANEOUS ITEMS REQUIRED TO CONSTRUCT THE PROPOSED SYSTEM.
3. PRESSURE AND LEAKAGE TESTS AND DISINFECTING PIPES SHALL BE PERFORMED BY THE CONTRACTOR IN CONFORMANCE TO UNITED WATER OF RHODE ISLAND REQUIREMENTS, AMERICAN WATER WORKS ASSOCIATION (AWWA) RECOMMENDATIONS, AND GOVERNMENTAL AGENCIES HAVING JURISDICTION.
4. ALL GATE VALVES, FITTINGS, PIPE, JOINTS, ETC. SHALL BE DESIGNED FOR 1.5 TIMES WORKING PRESSURE BUT NOT LESS THAN 150 PSI.
5. WATER PIPE TYPICALLY SHALL BE LOCATED AT A DEPTH OF COVER EQUAL TO 5'-0". A MINIMUM OF 10'-FEET HORIZONTAL OR 18-INCH VERTICAL SEPARATION (ABOVE) SHALL BE MAINTAINED IN THE PLACEMENT OF WATER MAINS, SERVICES, OR APPURTENANCES WITHIN THE VICINITY OF SEWER FACILITIES, OR VICE VERSA. WHERE THE ABOVE SEPARATION DISTANCES CANNOT BE ACHIEVED, THE SANITARY SEWER/STORM DRAIN PIPE SHALL BE ENCASED WITHIN A DUCTILE IRON CARRIER PIPE FOR A DISTANCE EQUAL TO 10'-FEET ON EITHER SIDE OF THE AREA OF CONCERN. CONCRETE ENCASEMENT IS NOT ALLOWED. UTILITY SEPARATION SHALL CONFORM TO THE RULES AND REGULATIONS OF THE UNITED WATER OF RHODE ISLAND.
6. ALL SYSTEM COMPONENTS AND CONSTRUCTION METHODS, SUCH AS GATE VALVE, PIPE, THRUST BLOCKS, FITTINGS, CASTINGS, ETC. SHALL BE SUBMITTED TO THE UNITED WATER OF RHODE ISLAND AND ENGINEER FOR APPROVAL PRIOR TO PURCHASE AND INSTALLATION. THIS SUBMISSION SHALL INCLUDE MANUFACTURER'S LITERATURE, SHOP DRAWINGS, PROPOSED CONSTRUCTION METHODS, ETC.
7. WATER LINE TRENCH TO BE AWWA TYPE 5. COMPACTION MUST BE ACCOMPLISHED IN 6" LIFTS. A METALIZED DETECTABLE IDENTIFICATION TAPE 2" IN WIDTH, BLUE IN COLOR AND PRINTED WITH "CAUTION WATERLINE BURIED BELOW" SHALL BE UTILIZED OVER ALL MAINS. TAPE SHALL BE SET AT APPROXIMATELY 1'-0" BELOW FINISHED GRADE.
8. THE FINAL LOCATIONS FOR METER, BACK FLOW PREVENTOR AND VALVES SHALL BE VERIFIED WITH THE ARCHITECT AND APPROVED BY UNITED WATER OF RHODE ISLAND.

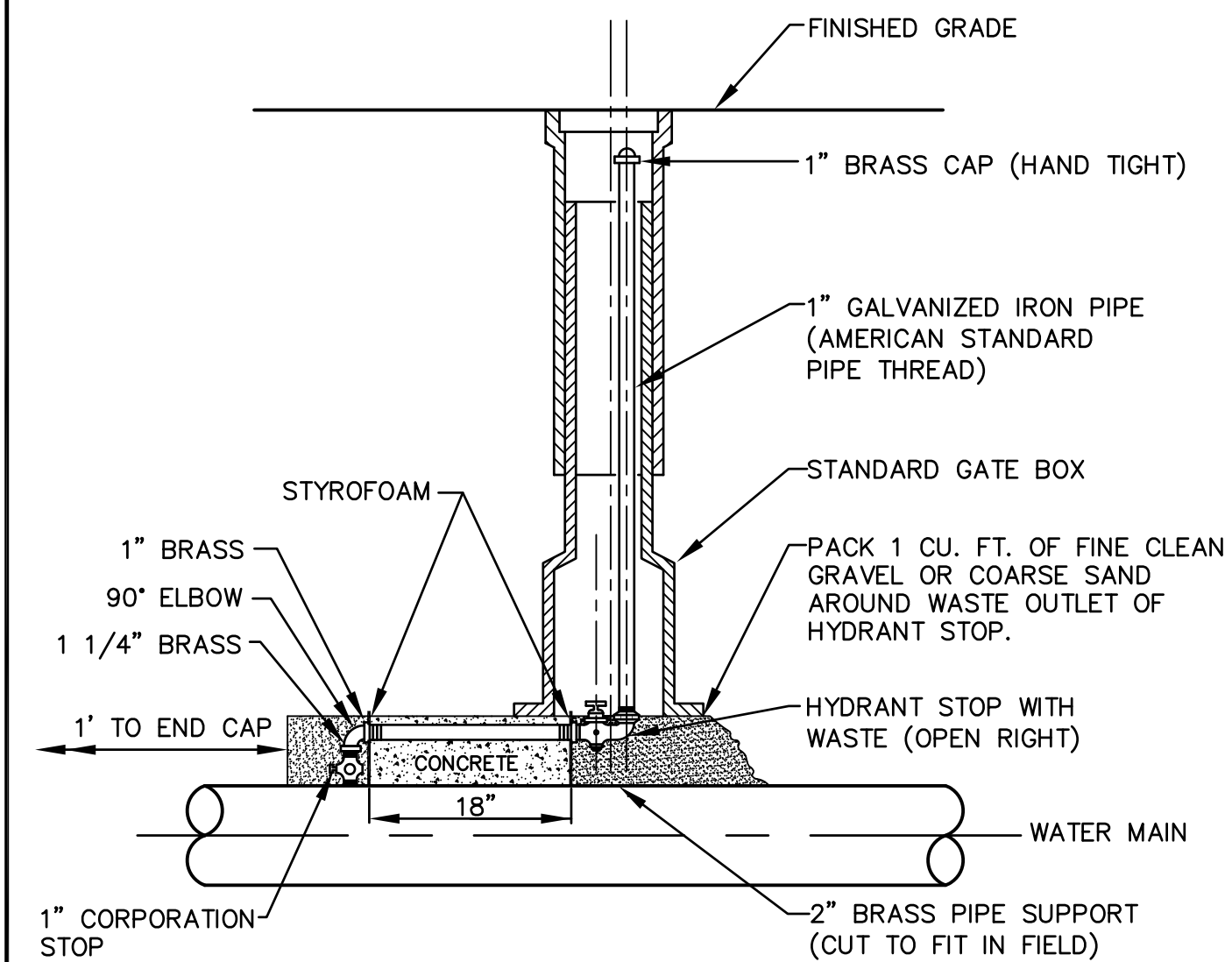


**TYPICAL WATER LINE TRENCH DETAIL**  
NOT TO SCALE



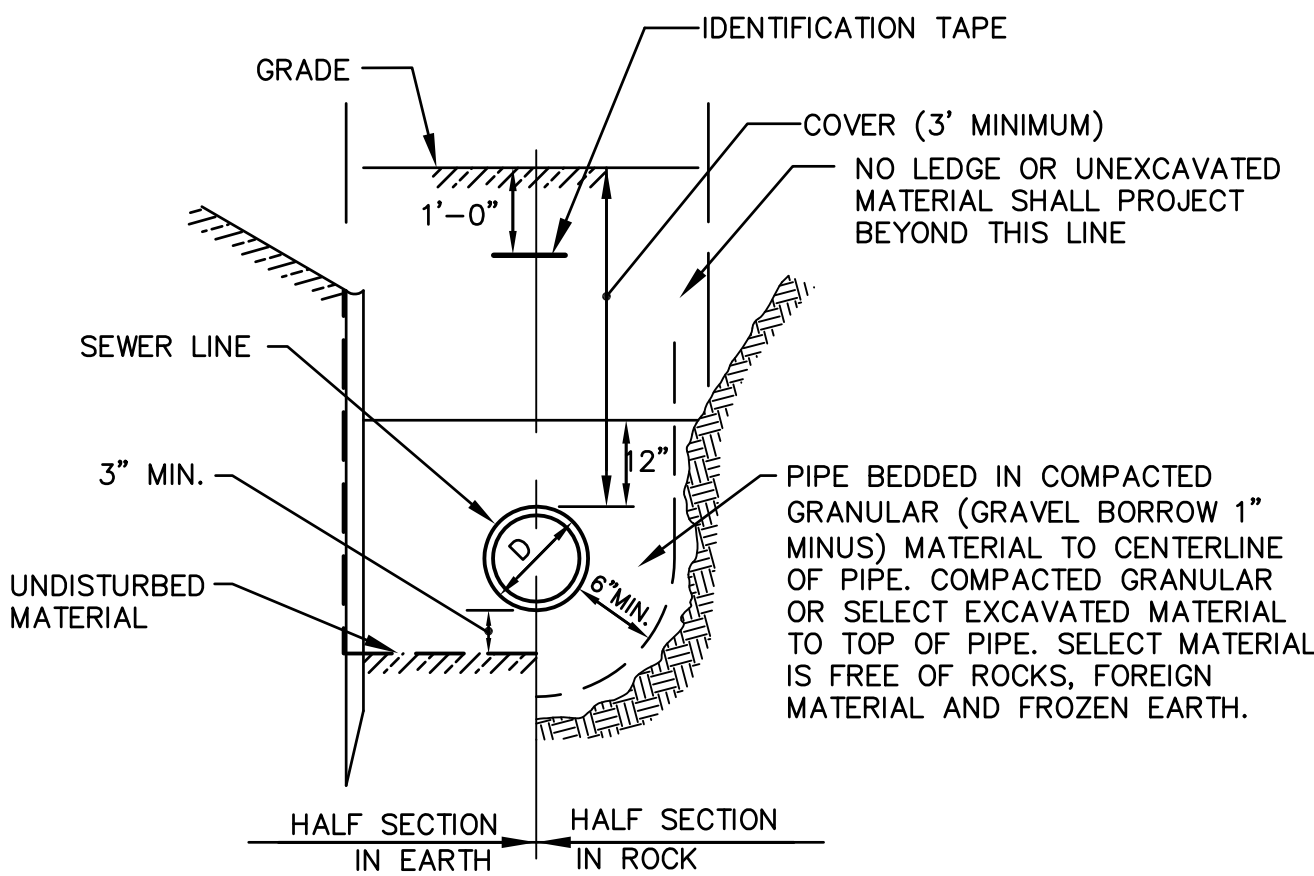
NOTE:  
1. SERVICE MATERIALS PER UNITED WATER OF RHODE ISLAND SPECIFICATION.

**WATER SERVICE CONNECTION**  
NOT TO SCALE

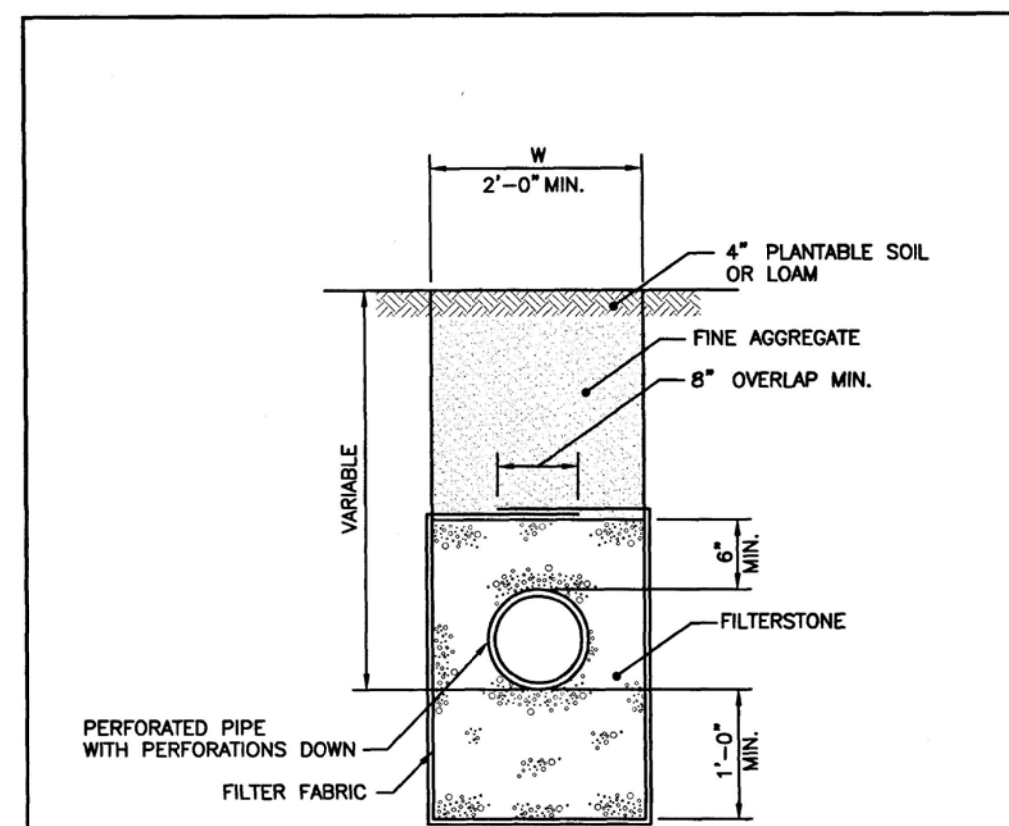


NOTE:  
BLOW ASSEMBLY SHALL BE INSTALLED AS SHOWN AND SHALL BE GILL INDUSTRY, ONE-O-ONE TYPE.

**TYPICAL BLOW-OFF ASSEMBLY DETAIL**  
NOT TO SCALE



**TYPICAL SEWER LINE TRENCH DETAIL**  
NOT TO SCALE



NOTES:  
1. SHALL BE IN ACCORDANCE WITH SECTION 703 OF THE R.I. STANDARD SPECIFICATIONS.  
2. WIDTH (W) OF TRENCH = INSIDE DIAMETER OF PIPE + 1'-0" OR 2'-0" WHICHEVER IS GREATER.  
3. MINIMUM PIPE DIAMETER: 8"  
4. DISTANCE DIMENSIONS ARE GIVEN TO THE OUTSIDE DIAMETER OF PIPE.

RHODE ISLAND DEPARTMENT OF TRANSPORTATION

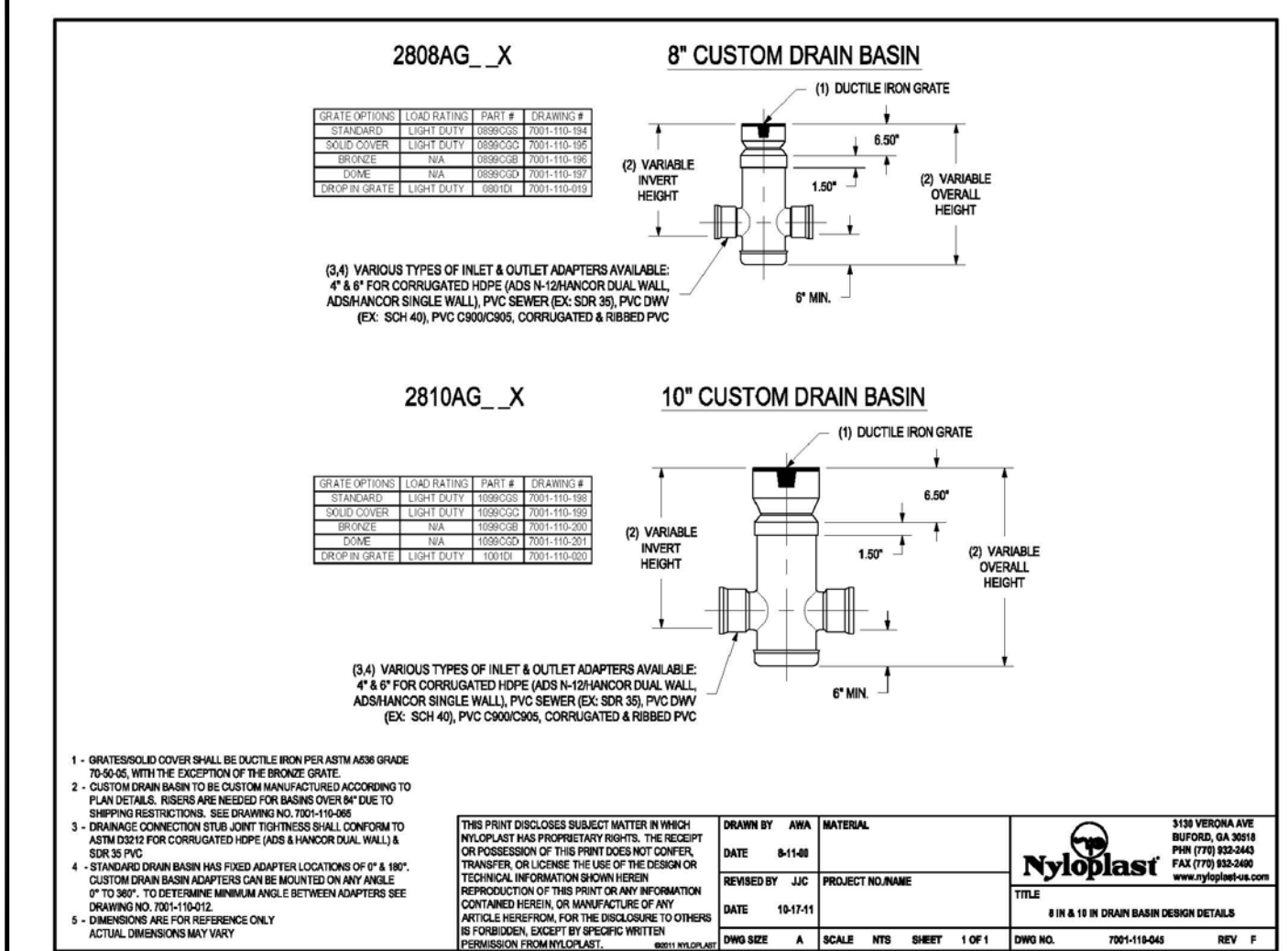
REVISIONS

NO.	BY	DATE

UNDERDRAIN

JUNE 15, 1998

R.I. STANDARD 1.1.0



NOTE:  
USE TEE FITTINGS (WITH SUMP) IN LIEU OF CROSS FITTING.

**YARD DRAIN DETAIL**

**CROSSMAN ENGINEERING**  
151 Centerville Road | Warwick, Rhode Island 02886  
Phone: (401) 738-5660 | Fax: (401) 738-8157  
Email: cel@crossmaneng.com

- Civil
- Transportation
- Environmental
- Site Planning
- Landscape Architecture
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KEY PLAN

PROJECT TITLE:  
**HAMPTON PLACE**  
PLAT MAP 50-4, LOT 24  
ZONING DISTRICT SMD  
ROUTE 1 SPECIAL  
MANAGEMENT DISTRICT

4847 TOWER HILL ROAD  
SOUTH KINGSTOWN, RI

PREPARED FOR:  
**CHATHAM PROPERTIES, LLC**  
2790 SOUTH COUNTY TRAIL  
EAST GREENWICH, RI

DRAWING TITLE:  
**MISCELLANEOUS  
DETAILS PLAN No. 3**

DATE: MAY 2014 SCALE: AS SHOWN

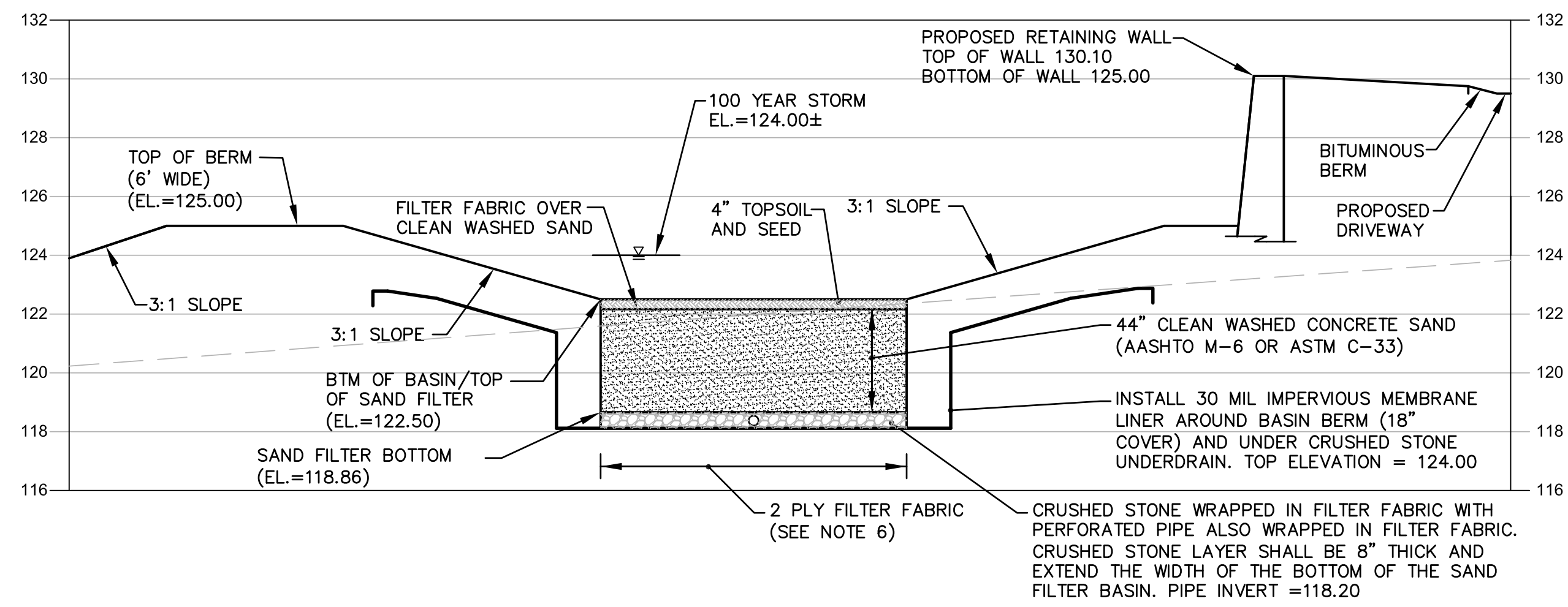
DWG. NAME: 1997-C12-DETAIL3-R7.dwg

REVISIONS

NUMBER	REMARKS	DATE
1	LANDSCAPING AND DRIVEWAY	06/03/14
2	PLANNING BOARD COMMENTS	06/20/14
3	TRC COMMENTS	06/27/14
4	SNOW AND LANDSCAPING	07/23/14
5	PLANNING BOARD COMMENTS	09/04/14
6	LAYOUT CHANGES	03/04/15
7	PROPOSED SIGN & LANDSCAPING	04/03/15

DRAWING NUMBER  
**C12**  
SHEET: 14 OF 20

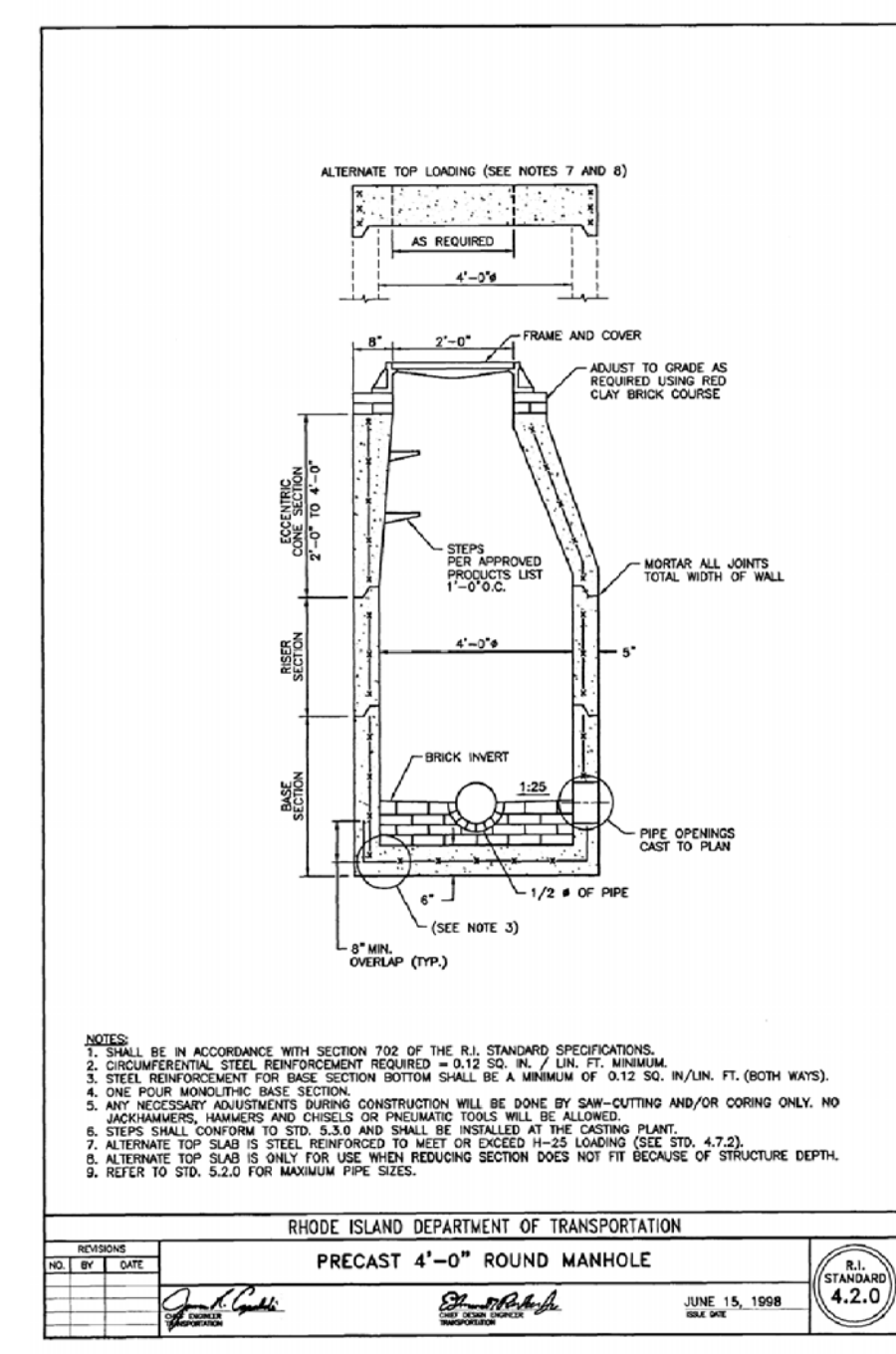
THESE DRAWINGS ARE THE PROPERTY OF CROSSMAN ENGINEERING AND HAVE BEEN PREPARED FOR THEIR CLIENT FOR A SPECIFIC SITE AND PROJECT. THESE DRAWINGS ARE NOT TO BE COPIED OR USED FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF CROSSMAN ENGINEERING.



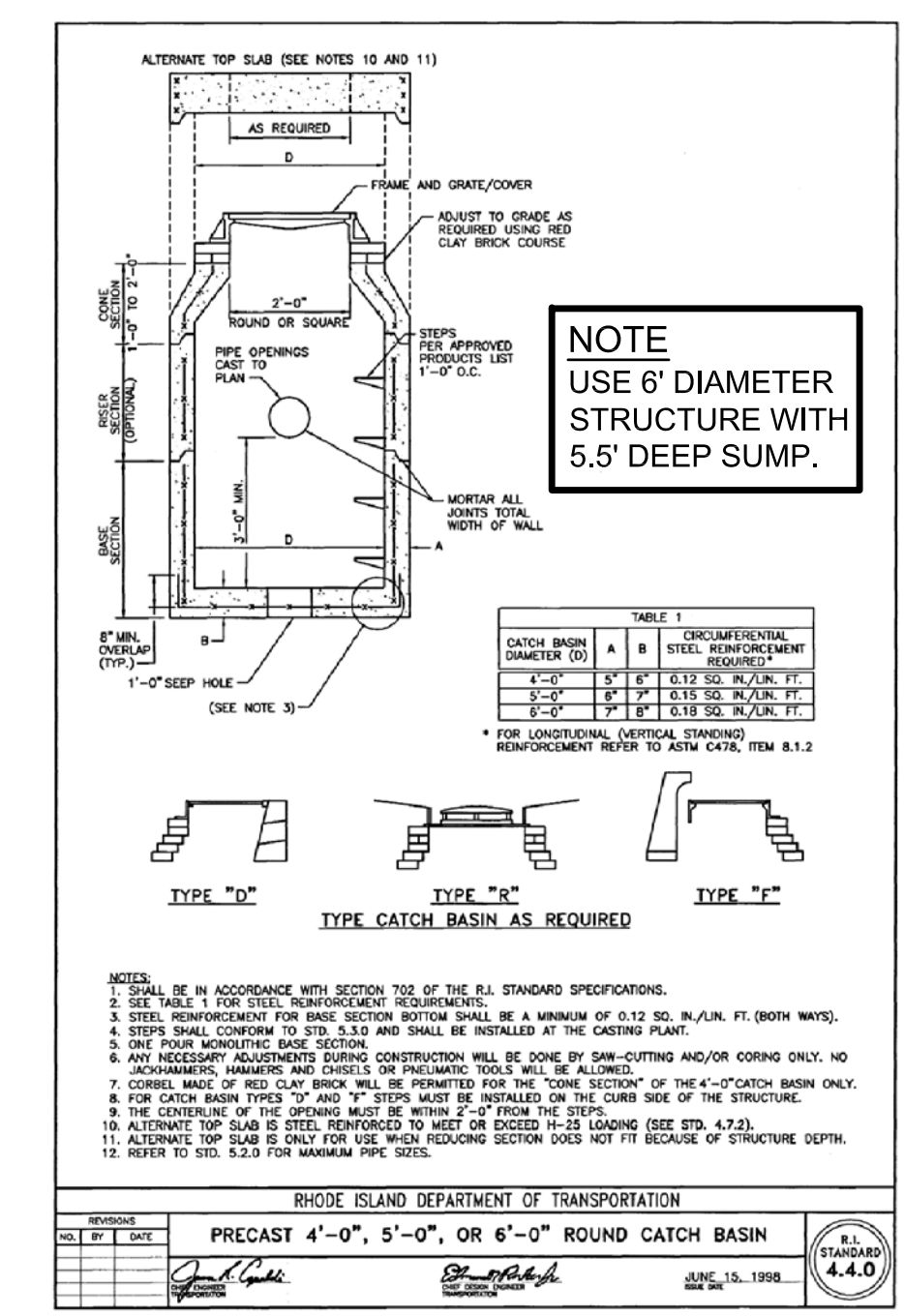
**SECTION A-A**  
SCALE: 1"=4'

- NOTES
- SAND FILTER BASIN CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE RHODE ISLAND STORMWATER DESIGN AND INSTALLATION STANDARDS MANUAL, APPENDIX F.5, CONSTRUCTION STANDARDS/SPECIFICATIONS FOR FILTER BMP'S.
  - MATERIAL USED SHALL MEET THE REQUIREMENTS OF TABLE F-16 IN APPENDIX F.5.
  - THE CONTRACTOR IS RESPONSIBLE TO BECOME FAMILIAR WITH THE ABOVE REFERENCED MANUAL. THE MANUAL CAN BE FOUND FOUND AT <http://www.dem.ri.gov/pubs/regs/water/swmanual.pdf>.
  - CONTRACTOR IS RESPONSIBLE TO SUBMIT SHOP DRAWINGS AND SPECIFICATIONS FOR SAND FILTER MATERIAL PRIOR TO START OF CONSTRUCTION.
  - FILTER FABRIC SHALL BE MARIFI 160 N OR APPROVED EQUAL.
  - AS NOTED, BASIN SHALL HAVE 2 PLY FILTER FABRIC; 1 FOR UPPER MEMBRANE PROTECTION AND 1 FOR WRAPPING BASIN UNDERDRAIN SYSTEM.

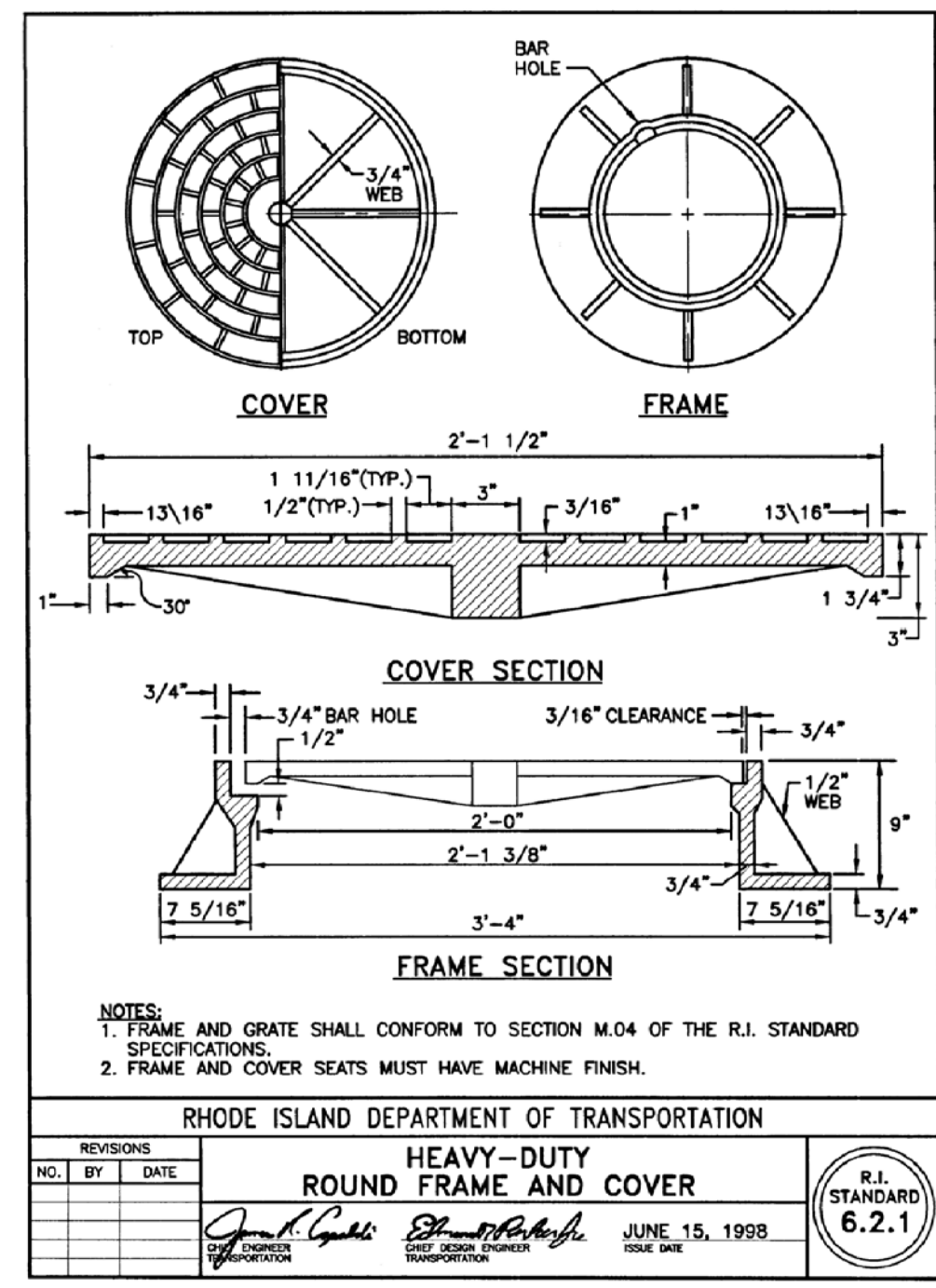
**SAND FILTER BASIN NO. 2 TYPICAL SECTION A-A**  
SCALE: AS SHOWN



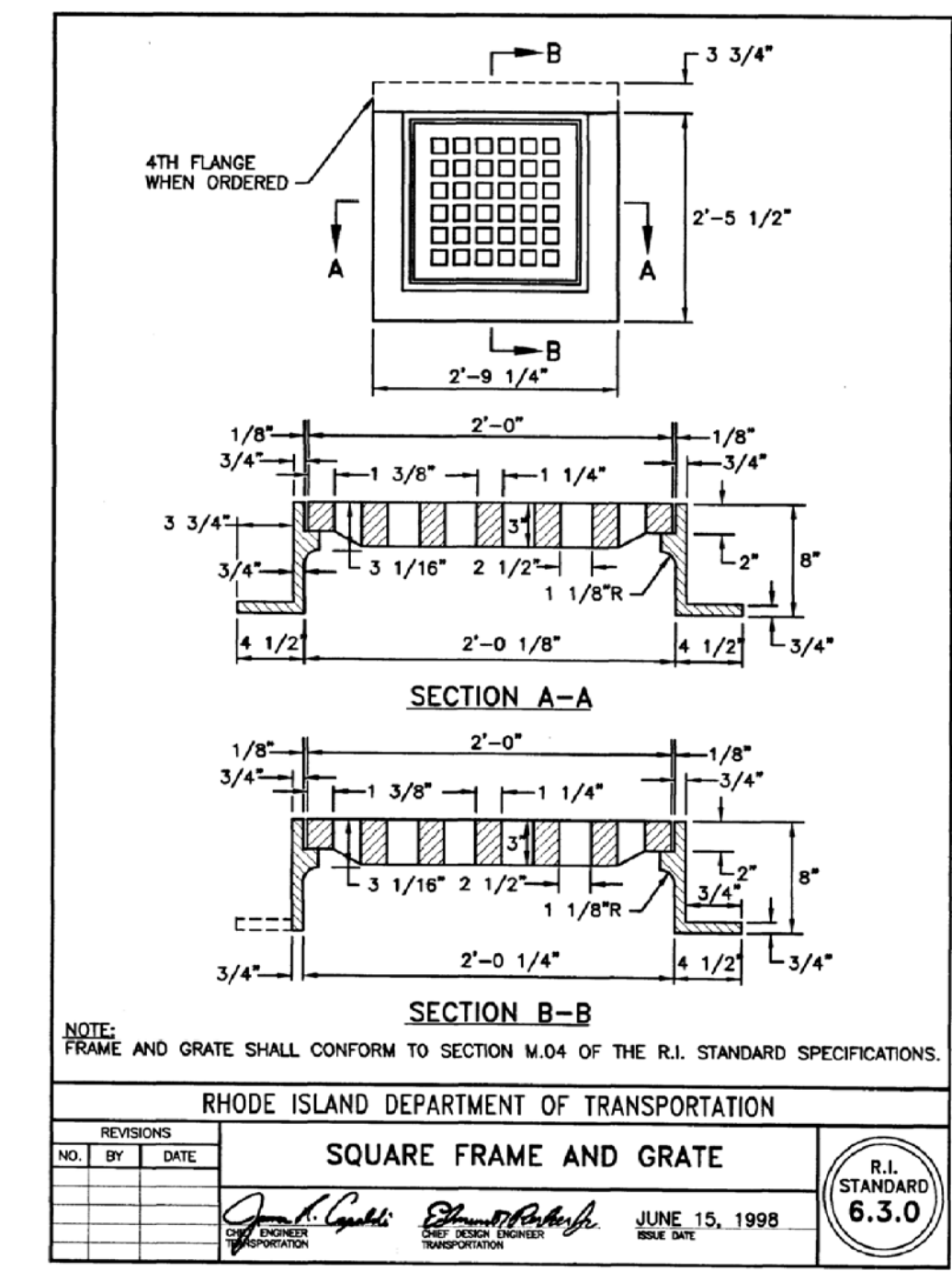
RHODE ISLAND DEPARTMENT OF TRANSPORTATION  
PRECAST 4'-0" ROUND MANHOLE  
SCALE: 1/4"=1'-0"  
R.I. STANDARD 4.2.0



RHODE ISLAND DEPARTMENT OF TRANSPORTATION  
PRECAST 4'-0" ROUND CATCH BASIN  
SCALE: 1/4"=1'-0"  
R.I. STANDARD 4.4.0



RHODE ISLAND DEPARTMENT OF TRANSPORTATION  
HEAVY-DUTY ROUND FRAME AND COVER  
SCALE: 1/4"=1'-0"  
R.I. STANDARD 6.2.1



RHODE ISLAND DEPARTMENT OF TRANSPORTATION  
SQUARE FRAME AND GRATE  
SCALE: 1/4"=1'-0"  
R.I. STANDARD 6.3.0

**SAND FILTER BASIN/GRASS SWALE TOPSOIL NOTE**

PREPARE THE SAND FILTER BASIN BOTTOM BED WITH THE FOLLOWING SAND, LOAM AND ORGANIC SOIL MIX: USDA LOAMY SAND OR SANDY LOAM SOIL TYPE MEETING THE FOLLOWING SPECIFICATION:

- ORGANIC MATTER: 2-5%
- CLAY: 0-2%
- SILT: 0-12%
- SAND: 85-88%

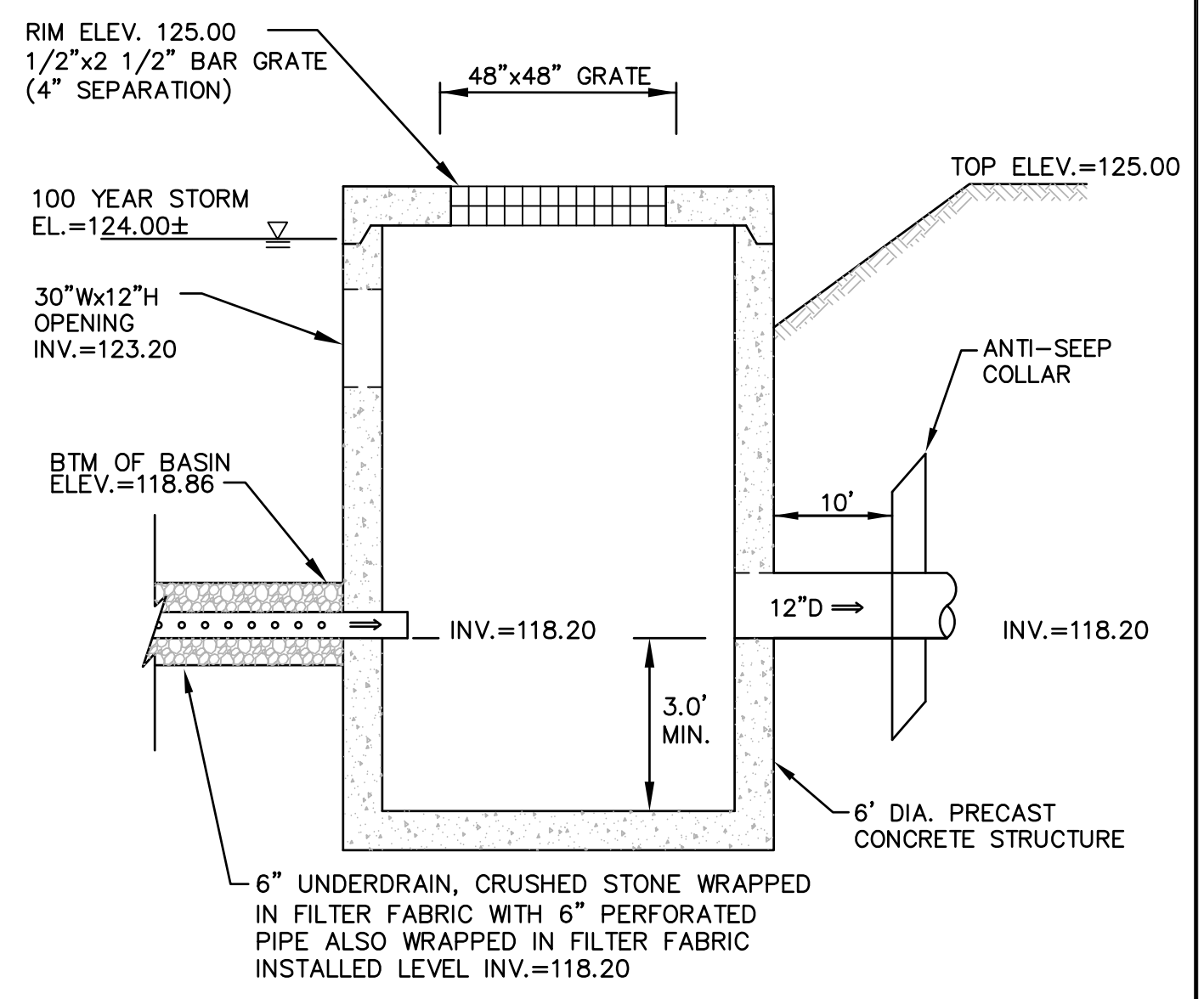
NOTE: FILTER FABRIC PLACED BETWEEN SAND AND TOPSOIL LAYERS SHALL BE MIRAFI 180-N OR APPROVED EQUAL.

**SAND FILTER/GRASS SWALE SEED MIX**

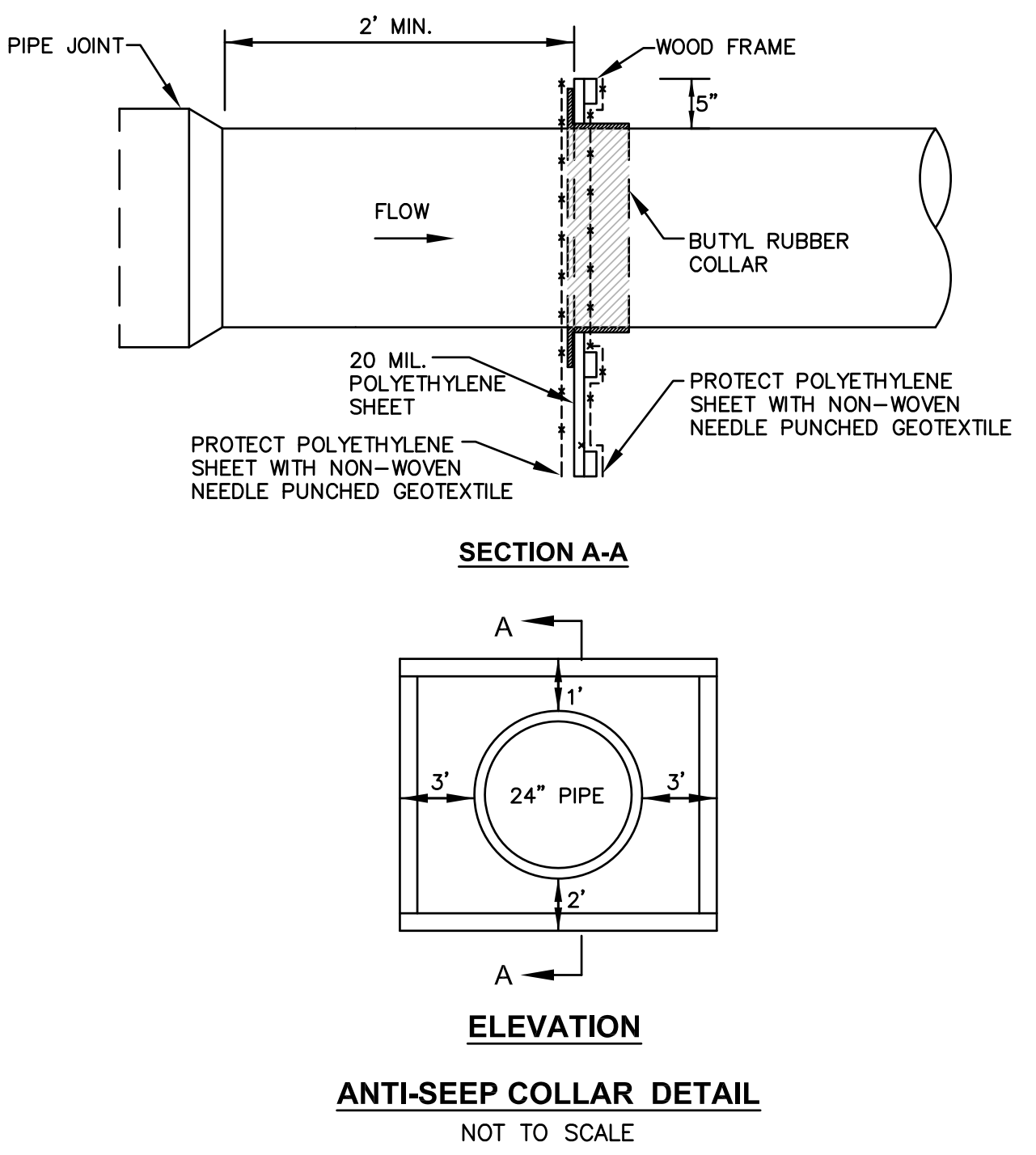
APPLICATION RATE = 15-25 LBS. / ACRE (SEASONALLY FLOODED MIX) (SAND FILTER BOTTOM AREA)

- 20% FOX SEDGE, PA ECOTYPE (CAREX VULPINOIDEA, PA ECOTYPE)
- 16% VIRGINIA WILD RYE, PA ECOTYPE (ELYMUS VIRGINICUS, PA ECOTYPE)
- 15% RIVERBANK WILD RYE, PA ECOTYPE (ELYMUS RIPARIUS, PA ECOTYPE)
- 15% JAPANESE MILLET (ECHINOCHLOA CRUSGALLI VAR. FRUMENTACEA)
- 15% DEER TONGUE, 'TIOGA' (PANICUM CLANDESTINUM (DICANTHELIUM C.), 'TIOGA')
- 9% BLUNT BROOM SEDGE, PA ECOTYPE (CAREX SCOPARIA, PA ECOTYPE)
- 5% SWITCHGRASS, 'CAVE-IN-ROCK' (PANICUM VIRGATUM, 'CAVE-IN-ROCK')
- 2% GREEN BULRUSH, PA ECOTYPE (SCIRPUS ATROVIRENS, PA ECOTYPE)
- 2% AWL SEDGE, PA ECOTYPE (CAREX STIPATA, PA ECOTYPE)
- 1% AUTUMN BENTGRASS, APB (AGROSTIS PERENNANS, APB)

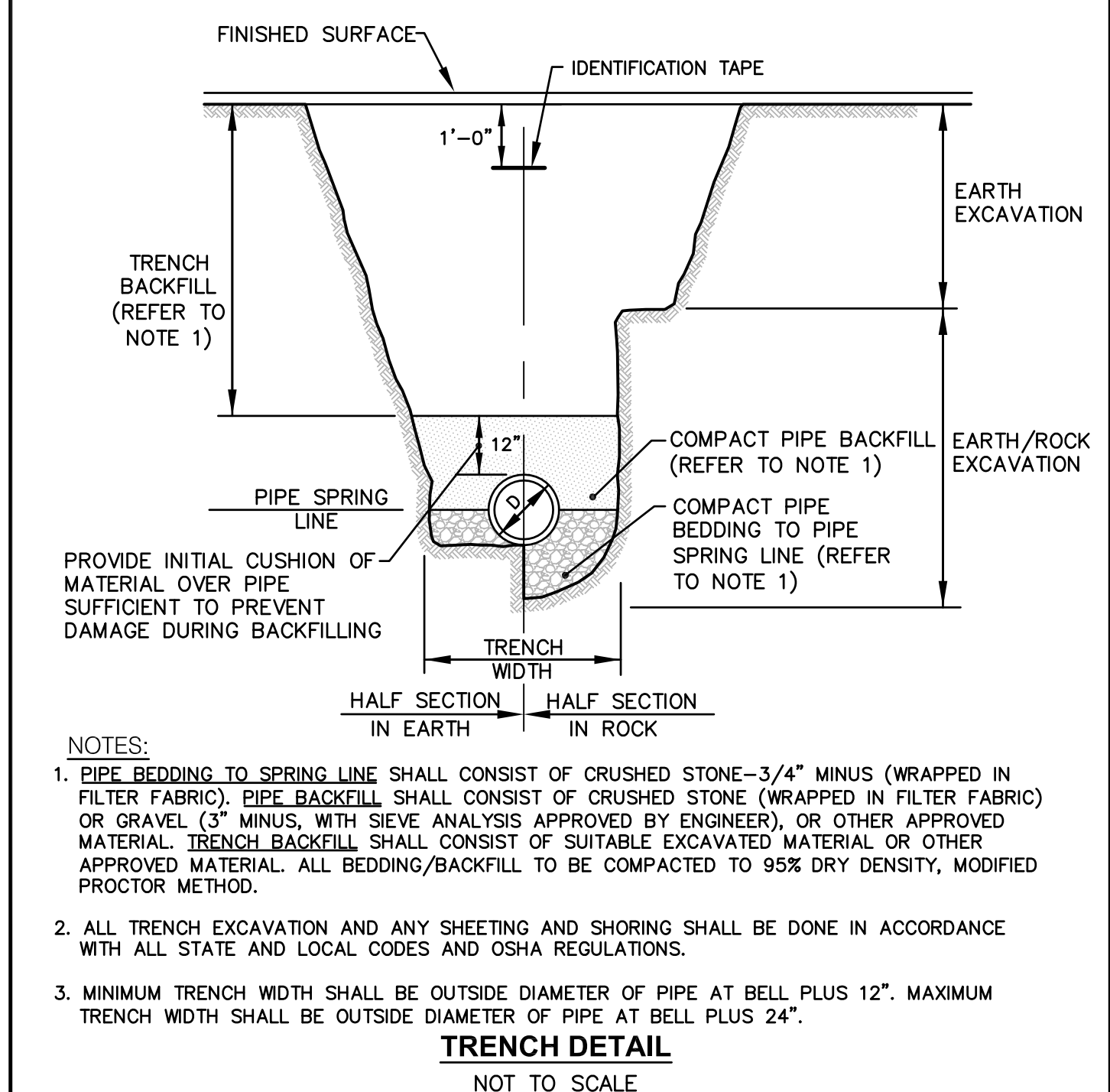
NOTE: THE ABOVE MIX IS IDENTIFIED AS "SEASONALLY FLOODED MIX" SUPPLIED BY ALLENS SEED, 693 SOUTH COUNTY TRAIL, EXETER, RI (401-294-2722). CONTRACTOR MAY USE APPROVED EQUAL SEED MIX.



**SAND FILTER BASIN NO. 2 OUTLET CONTROL STRUCTURE DETAIL**  
NOT TO SCALE



**ANTI-SEEP COLLAR DETAIL**  
NOT TO SCALE



**TRENCH DETAIL**  
NOT TO SCALE

KEY PLAN

PROJECT TITLE:  
**HAMPTON PLACE**  
PLAT MAP 50-4, LOT 24  
ZONING DISTRICT SMD  
ROUTE 1 SPECIAL  
MANAGEMENT DISTRICT

4847 TOWER HILL ROAD  
SOUTH KINGSTOWN, RI

PREPARED FOR:  
**CHATHAM PROPERTIES, LLC**  
2790 SOUTH COUNTY TRAIL  
EAST GREENWICH, RI

DRAWING TITLE:  
**MISCELLANEOUS  
DETAILS PLAN No. 4**

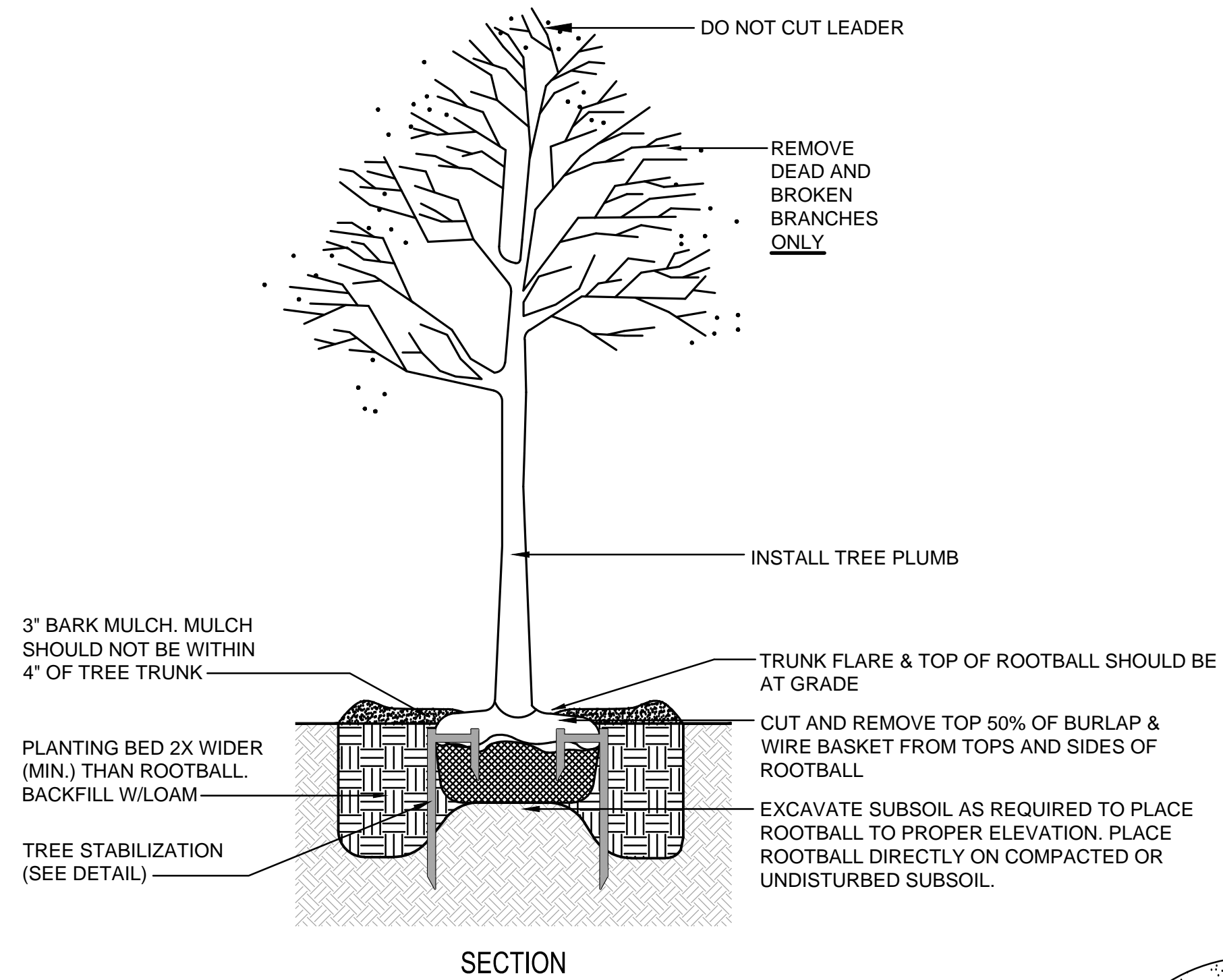
DATE: MAY 2014 SCALE: AS SHOWN  
DWG. NAME: 1997-C13-DETAIL4-R7.dwg

NUMBER	REMARKS	DATE
1	LANDSCAPING AND DRIVEWAY	06/03/14
2	PLANNING BOARD COMMENTS	06/20/14
3	TRC COMMENTS	06/27/14
4	SNOW AND LANDSCAPING	07/23/14
5	PLANNING BOARD COMMENTS	09/04/14
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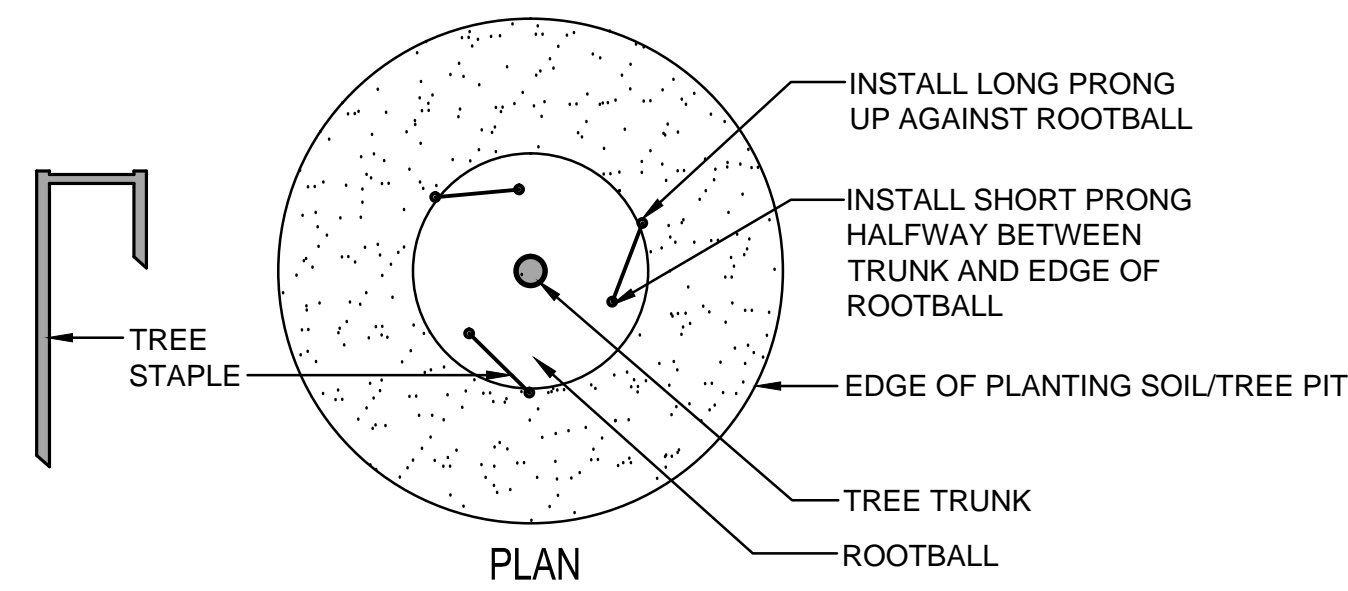
DRAWING NUMBER  
**C13**  
SHEET: 15 OF 20

SOUTH KINGSTOWN SUBDIVISION & LAND DEVELOPMENT REGULATIONS  
 IV. SPECIAL REQUIREMENTS - G. Landscaping - General Standards and Specifications

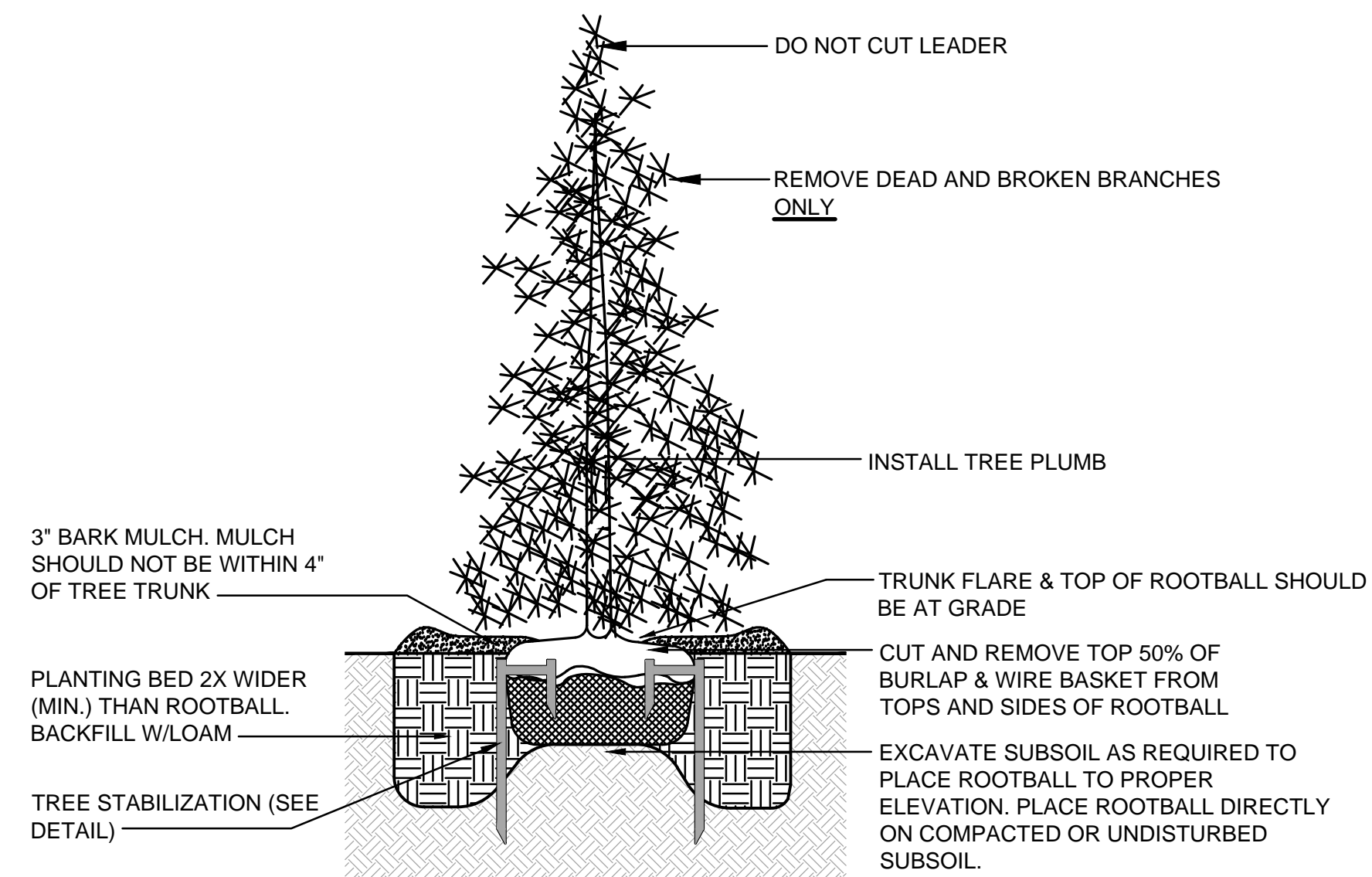
Description	Provided
1. Minimum size for small evergreen trees or large shrubs shall be 6 to 8 ft.	6 to 8 ft. evergreen trees
2. Minimum size for low shrubs shall be 4 ft.	4 ft. at maturity
3. 25 ft. wide landscape strip along entire street frontage to sufficiently screen right-of-way (Hampton Way) and 105 ft. minimum (Tower Hill Road) widths	25 ft. (Hampton Way) and 105 ft. minimum (Tower Hill Road)
4. 10 ft. wide perimeter landscape strip for parking with 5 or more spaces	14 to 47 ft. wide
5. Perimeter landscape shall contain 1 tree plus 3 shrubs or groundcover plants for every 35 lin. ft.	11.9%
6. 8% interior landscaping of parking lots from 20,000 to 50,000 sq. ft. (12,633 sq. ft. landscaping / 105,850 sq. ft. total parking = 11.9%)	0 to 14 feet
7. 3 ft. landscape strip between parking and building wall	N / A
8. Buffer required when incompatible zones abut each other	



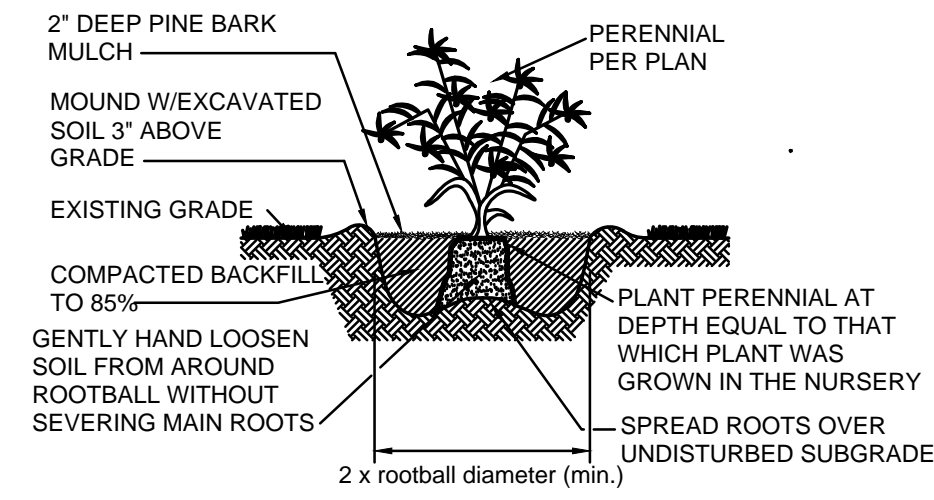
TREE PLANTING DETAIL  
no scale



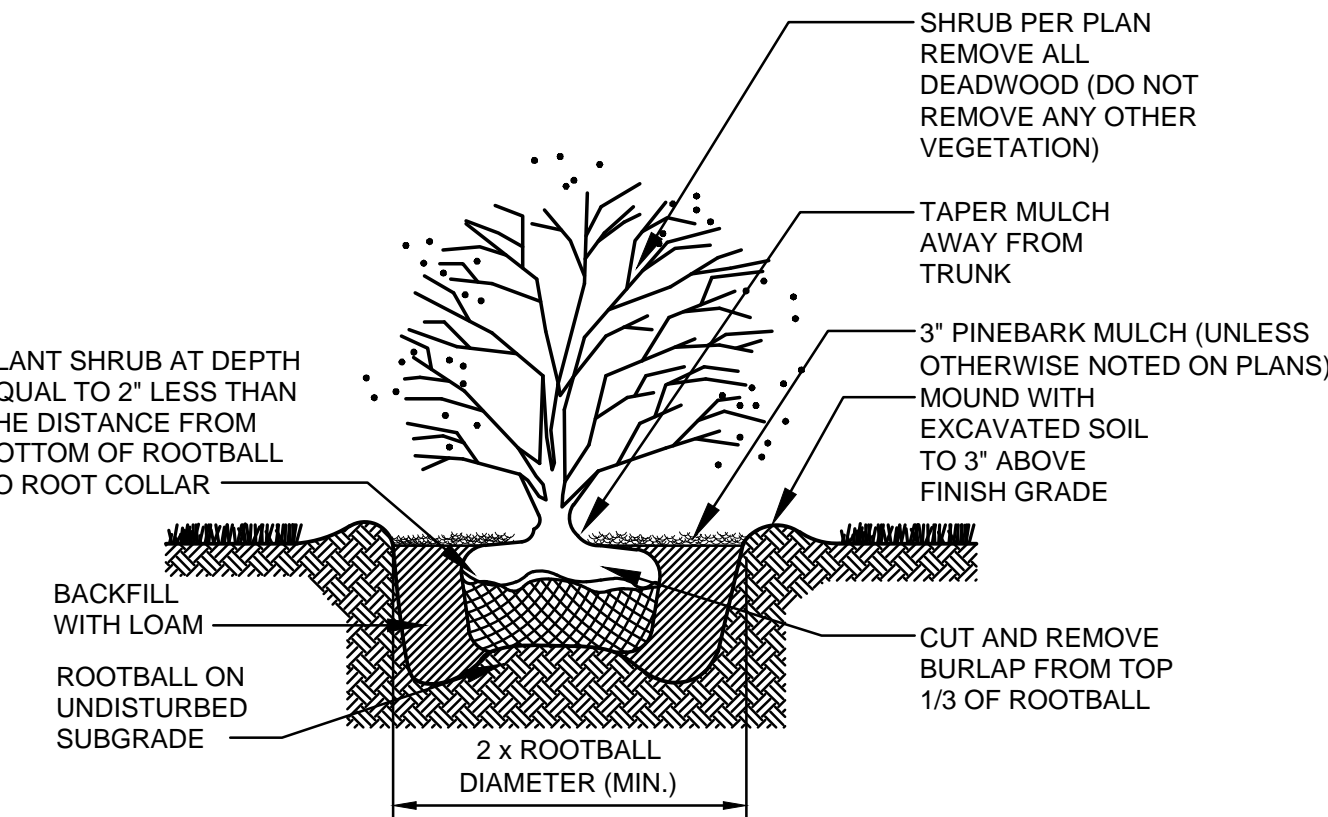
NOTE: CONTRACTOR SHALL USE CAUTION WITH TREE STAPLES SO NOT TO BE DRIVEN INTO SUBGRADE PIPES AND UTILITIES



EVERGREEN TREE PLANTING DETAIL  
no scale



PERENNIAL PLANTING DETAIL  
no scale



SHRUB PLANTING DETAIL  
no scale

PLANTING NOTES

- Plant material shall be furnished and installed as indicated; including all labor, materials, plants, equipment, incidentals and clean-up.
- The contractor shall be responsible for planting at correct grades and alignment. Layout to be approved by Owner's Representative prior to installation.
- Plants shall be typical of their species and variety; have normal growth habits; well developed branches, densely foliated, vigorous root systems and be free from defects and injuries.
- All plant material shall be guaranteed by the contractor to be in vigorous growing condition. Provisions shall be made for a growth guarantee of at least one year from date of acceptance for trees and shrubs. Replacements shall be made at the beginning of the first succeeding planting season. All replacements shall have a guarantee equal to that stated above.
- Contractor shall report any soil or drainage conditions considered detrimental to the growth of plant material.
- In so far as it is practical, plant material shall be planted on the day of delivery. In the event this is not possible, the Contractor shall protect stock not planted. Plants shall not remain unplanted for longer than a three day period after delivery. Any plants not installed during this period will be rejected.
- Quality and size of plants, spread of roots, and size of balls shall be in accordance with ANSI 260 (REV. 1980) "American standard for Nursery Stock" as published by the American Association of Nurserymen, Inc.
- All plants shall be in amended topsoil that is thoroughly watered and tamped as back filling progresses. Planting mix to be as shown on planting details. Large planting areas to incorporate fertilizer and soil conditioners.
- Plants shall not be bound with wire or rope at any time so as to damage the bark or break branches. Plants shall be handled from the bottom of the ball only.
- Planting operations shall be performed during periods within the planting season when weather and soil conditions are suitable and in accordance with accepted local practice. Plants shall not be installed in topsoil that is in a muddy or frozen condition. All plant material shall be sprayed with "wilt-pruf" or equal per manufacturer's instructions.
- No plant except groundcovers, shall be planted less than two feet from existing structures and sidewalks.
- Set all plants plumb and straight. Set at such a level that a normal or natural relationship to the crown of the plant with the ground surface will be established. Locate plant in the center of the pit.
- All injured roots shall be pruned utilizing clean, sharp tools to make clean ends before planting. It is advisable to prune approximately 1/3 of the root growth of large trees (2" caliper and over) by the removal of superfluous branches, those which cross, those which run parallel, etc. Main leader of trees will not be cut back. Long side branches, however, must be shortened.
- Each tree and shrub shall be pruned in accordance with standard horticultural practice to preserve natural character of plant. Pruning shall be done with clean, sharp tools.
- Trees shall be supported immediately after planting. All trees six (6) inches and over in caliper shall be guyed. Smaller trees shall be staked. Guying wires and stakes shall be installed as indicated. The landscape contractor shall remove staking, guying and tree wrap at the end of the two year maintenance and guarantee period.
- The plants shall be watered immediately following planting, preferably when 2/3 of the backfill has been placed so that all air pockets are removed and the plant properly set. Additional watering shall be made at least once every 14 days unless otherwise directed until final acceptance of the plant material
- All planting beds shall be mulched with a three (3) inch layer of shredded pine bark mulch unless otherwise noted.
- New planting areas, grass seed and sod shall be adequately irrigated or watered to establish the proposed plants and lawn. Seeding Note: Use University of Rhode Island No. 2 Improved seed mix or equal.
- Prior to the issuance of any Certificate of Occupancy, the proposed landscape as shown on the approved Landscape Plan must be installed, inspected and approved by the Owner's Representative or City/Town Landscape Architect if applicable. The inspector shall take into account seasonal considerations in this regard as follows. The planting of trees, shrubs, vines or groundcovers as required by or associated with a subdivision or Site Plan approval by the Planning Board or Zoning Board of Appeals shall be installed during the following planting seasons:

PLANTS	DATE
LAWNS	March 15 to October 15 March 15 to June 15 September 15 to October 15

Furthermore, the following tree varieties shall not be planted during the fall planting season due to the hazards associated with planting these trees in this season. If grown in containers, this list shall not apply.

Acer rubrum	Populus varieties
Betula varieties	Prunus varieties
Carpinus varieties	Pyrus varieties
Crataegus varieties	Quercus varieties
Koelreuteria	Salix varieties
Liquidambar varieties	Tilia tomentosa
Liriodendron tulipifera	Zelkova varieties
Platanus acerfolia	

Any plantings installed in conflict with this requirement must receive the written approval of the Landscape Architect prior to planting. Failure to comply with this requirement will require removal of the planting in question. This requirement does not apply to seeding or sodding or plantings specifically for soil stabilization purposes. The planting associated with any lot given a Certificate of Occupancy outside of these periods shall be provided during the previous or next appropriate season.

20. All disturbed areas to be treated with four (4) inches of topsoil and seeded in accordance with permanent stabilization methods indicated on Soil Erosion Sediment Control sheet.



**CROSSMAN ENGINEERING**  
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LANDSCAPE ARCHITECT

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STAMP



PROJECT TITLE:

**HAMPTON PLACE**  
 PLAT MAP 50-4, LOT 24  
 ZONING DISTRICT SMD  
 ROUTE 1 SPECIAL  
 MANAGEMENT DISTRICT

4847 TOWER HILL ROAD  
 SOUTH KINGSTOWN, RI

PREPARED FOR:

**CHATHAM PROPERTIES, LLC**  
 2790 SOUTH COUNTY TRAIL  
 EAST GREENWICH, RI

DRAWING TITLE:

**LANDSCAPE  
 DETAILS & NOTES**

DATE: MAY 2014 SCALE:

DWG. NAME: L2-Mor 2015.dwg

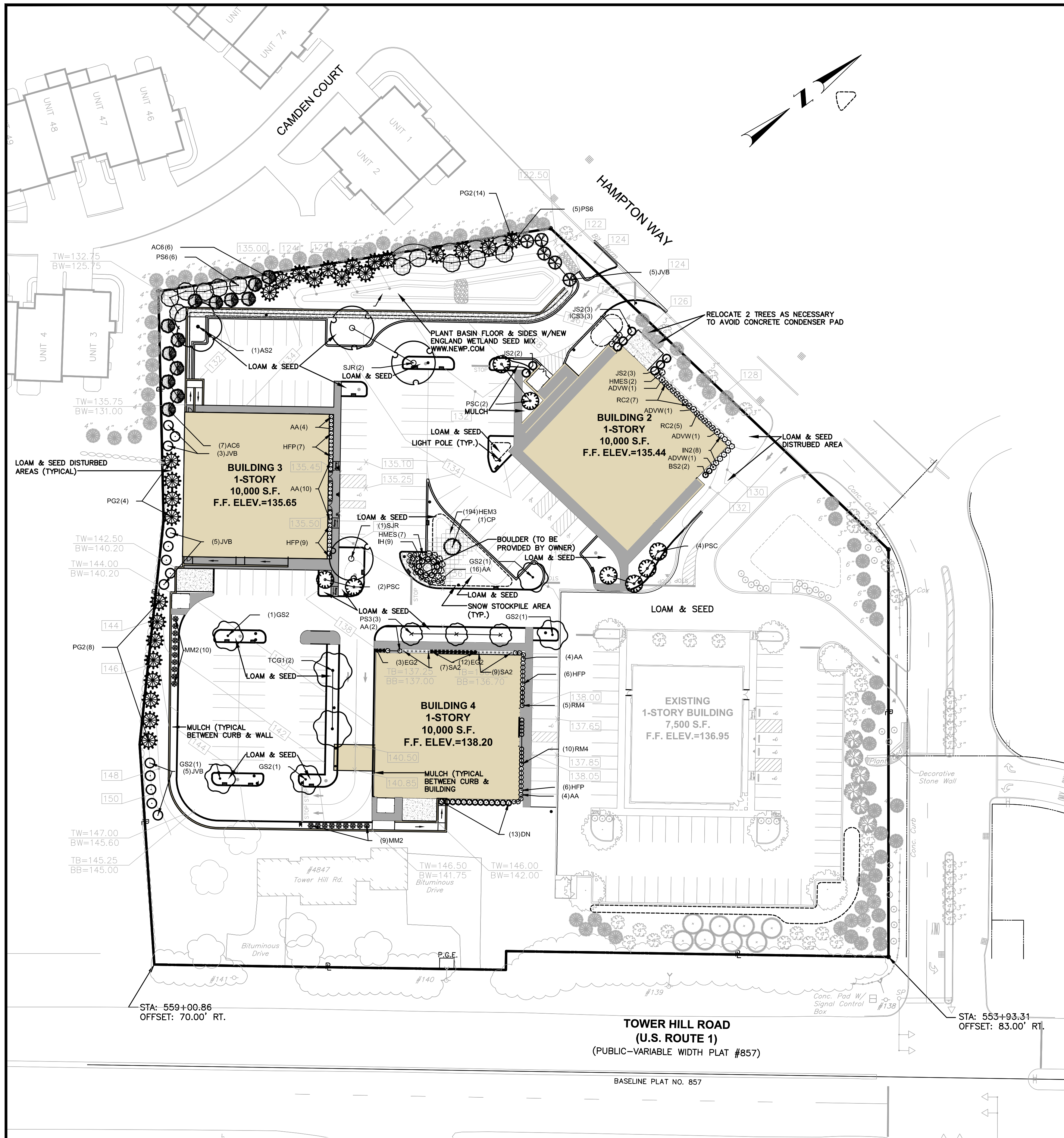
REVISIONS

NUMBER	REMARKS	DATE
1	LANDSCAPING AND DRIVEWAY	6/3/14
2	PLANNING BOARD COMMENTS	6/20/14
3	TRC COMMENTS	6/27/14
4	SNOW AND LANDSCAPING	7/23/14
5	PLANNING BOARD COMMENTS	9/4/14
6	LAYOUT CHANGES	2/13/15

DRAWING NUMBER

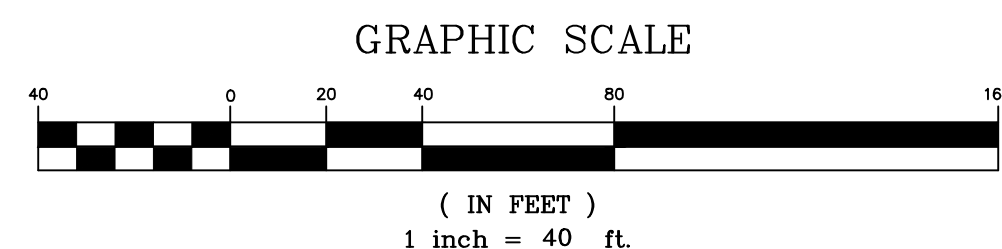
**L2**

SHEET: 18 OF: 20



**LANDSCAPE PLAN**

1" = 40'



**PLANT SCHEDULE**

DECIDUOUS TREES	CODE	QTY	COMMON NAME / BOTANICAL NAME	CONT	CAL	SIZE
	AS2	1	Sugar Maple / Acer saccharum	B & B	2.5'	Cal
	GS2	5	Skyline Honey Locust / Gleditsia triacanthos 'Skyline'	B & B	2.5'	Cal
	SJR	3	Japanese Pagoda Tree / Sophora japonica 'Regent'	B & B	2.5'	Cal
	TCG1	2	Greenspire Littleleaf Linden / Tilia cordata 'Greenspire'	B & B	2.5'	Cal
EVERGREEN TREES	CODE	QTY	COMMON NAME / BOTANICAL NAME	CONT	CAL	SIZE
	AC6	13	White Fir / Abies concolor	B & B	4' - 5'	HT.
	CP	1	Weeping Nootka False Cypress / Chamaecyparis nootkatensis 'Pendula'	B & B	10' - 12'	HT.
	JS2	8	Spartan Juniper / Juniperus chinensis 'Spartan'	B & B	5' - 6'	HT.
	JVB	18	Eastern Red Cedar / Juniperus virginiana	B & B	4' - 5'	HT.
	PG2	26	White Spruce / Picea glauca	B & B	4' - 5'	HT.
	PS6	11	White Pine / Pinus strobus	B & B	4' - 5'	HT.
FLOWERING TREES	CODE	QTY	COMMON NAME / BOTANICAL NAME	CONT	CAL	SIZE
	PSC	8	Columnar Sargent Cherry / Prunus sargentii 'Columnaris'	B & B	7' - 8'	HT.
	PS3	3	Autumn Flowering Cherry / Prunus subhirtella 'Autumnalis'	B & B	1.5'	Cal
SHRUBS	CODE	QTY	COMMON NAME / BOTANICAL NAME	CONT	CAL	SIZE
	ADVW	4	Glen Dale Azalea / Azalea Glenn Dale Hybrid 'Delaware Valley White' Mature Height: to 4'	5 gal		
	AA	40	Autumn Angel Azalea / Azalea x 'Bixby'	2 gal		
	BS2	2	American Boxwood / Buxus sempervirens 'Winter Gem'	30"-36"; B&B		
	DN	13	Slender Deutzia / Deutzia gracilis 'Nikko'	2 gal		
	HMS	9	Baller Hydrangea / Hydrangea macrophylla 'Endless Summer' TM Mature Height: to 5'	5 gal		
	IH	9	Hoogendoorn Japanese Holly / Ilex crenata 'Hoogendoorn'	5 gal		
	ICS3	3	Steeds Japanese Holly / Ilex crenata 'Steeds' Mature Height: 6'-8'	B&B; 4-5 FT.		
	IN2	8	Nordic Inkberry / Ilex glabra 'Nordic'	7 gal		
	RC2	12	Cunningham's Blush Rhododendron / Rhododendron x 'Cunningham's Blush'	3 gal		
	RM4	15	Molly Fordham Rhododendron / Rhododendron x 'Midnight Ruby'	3 gal		
GRASSES	CODE	QTY	COMMON NAME / BOTANICAL NAME	CONT	CAL	SIZE
	MM2	19	Eulalia Grass / Miscanthus sinensis 'Morning Light'	1 gal		
PERENNIALS	CODE	QTY	COMMON NAME / BOTANICAL NAME	CONT	CAL	SIZE
	EG2	15	Green Envy Coneflower / Echinacea purpurea 'Green Envy'	1 gal		
	HFP	28	Hosta (white edged) / Hosta fortunei 'Patriot'	1 gal		
	SA2	16	Autumn Fire Sedum / Sedum x 'Autumn Fire'	1 gal		
PERENNIALS	CODE	QTY	COMMON NAME / BOTANICAL NAME	CONT	CAL	SIZE
	HEM3	194	Daylily / Hemerocallis x 'Ed Murray'	bulb		24" o.c.
	HO3	390	Stella de Oro Daylily / Hemerocallis x 'Stella de Oro'	bulb		24" o.c.

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**STAMP**

**PROJECT TITLE:**  
**HAMPTON PLACE**  
 PLAT MAP 50-4, LOT 24  
 ZONING DISTRICT SMD  
 ROUTE 1 SPECIAL  
 MANAGEMENT DISTRICT

4847 TOWER HILL ROAD  
 SOUTH KINGSTOWN, RI

**PREPARED FOR:**  
**CHATHAM PROPERTIES, LLC**  
 2790 SOUTH COUNTY TRAIL  
 EAST GREENWICH, RI

**DRAWING TITLE:**  
**LANDSCAPE PLAN**

**DATE:** MAY 2014      **SCALE:** 1"=40'  
**DWG. NAME:** L1-Mar 2015 REV.dwg

**REVISIONS**

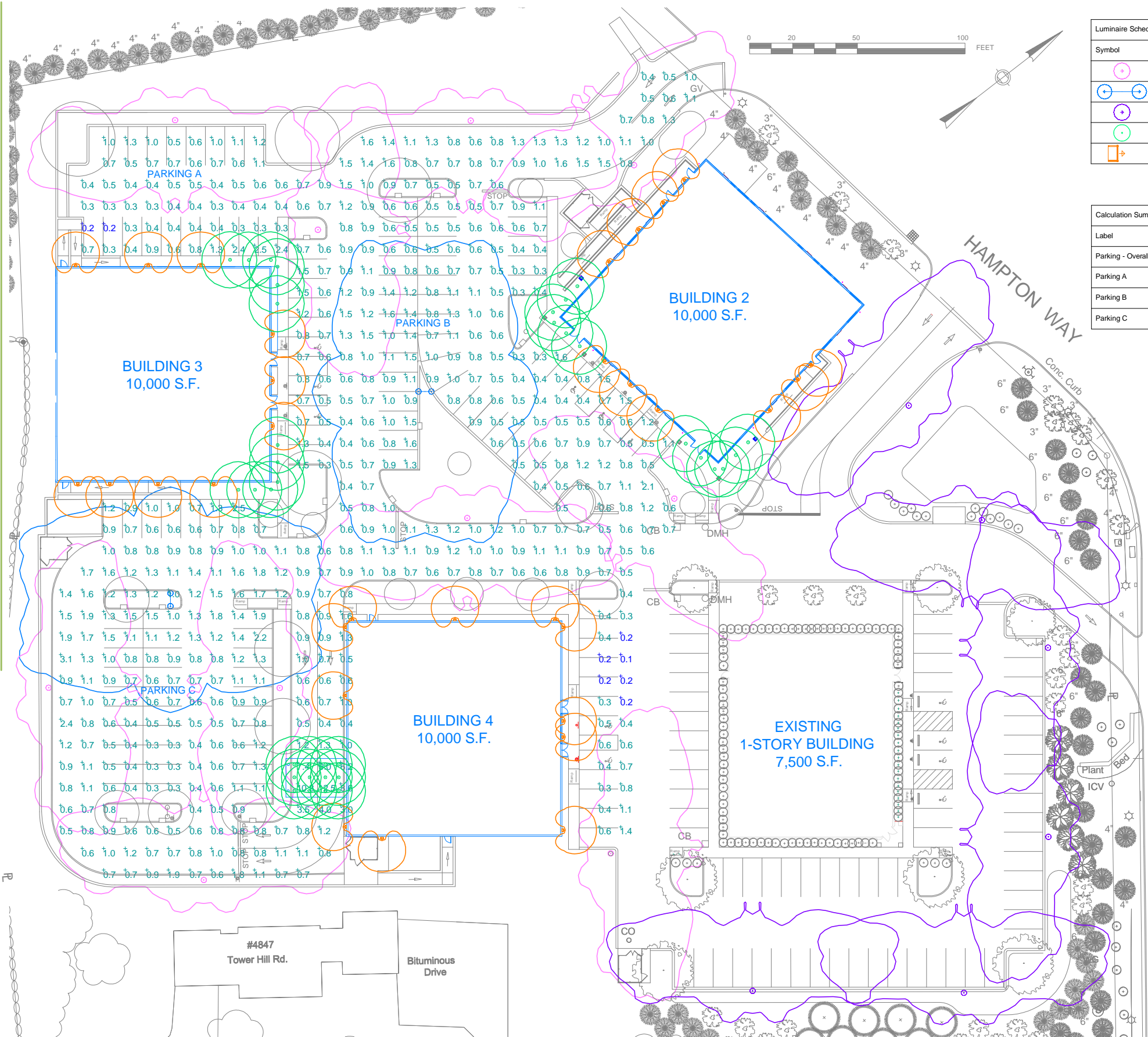
NUMBER	REMARKS	DATE
1	LANDSCAPING AND DRIVEWAY	6/3/14
2	PLANNING BOARD COMMENTS	6/20/14
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4	SNOW AND LANDSCAPING	7/23/14
5	PLANNING BOARD COMMENTS	9/4/14
6	LAYOUT CHANGES	3/4/15
7	PROPOSED SIGN & LANDSCAPING	4/3/15

**DRAWING NUMBER**  
**L1**  
 SHEET: 17 OF 20



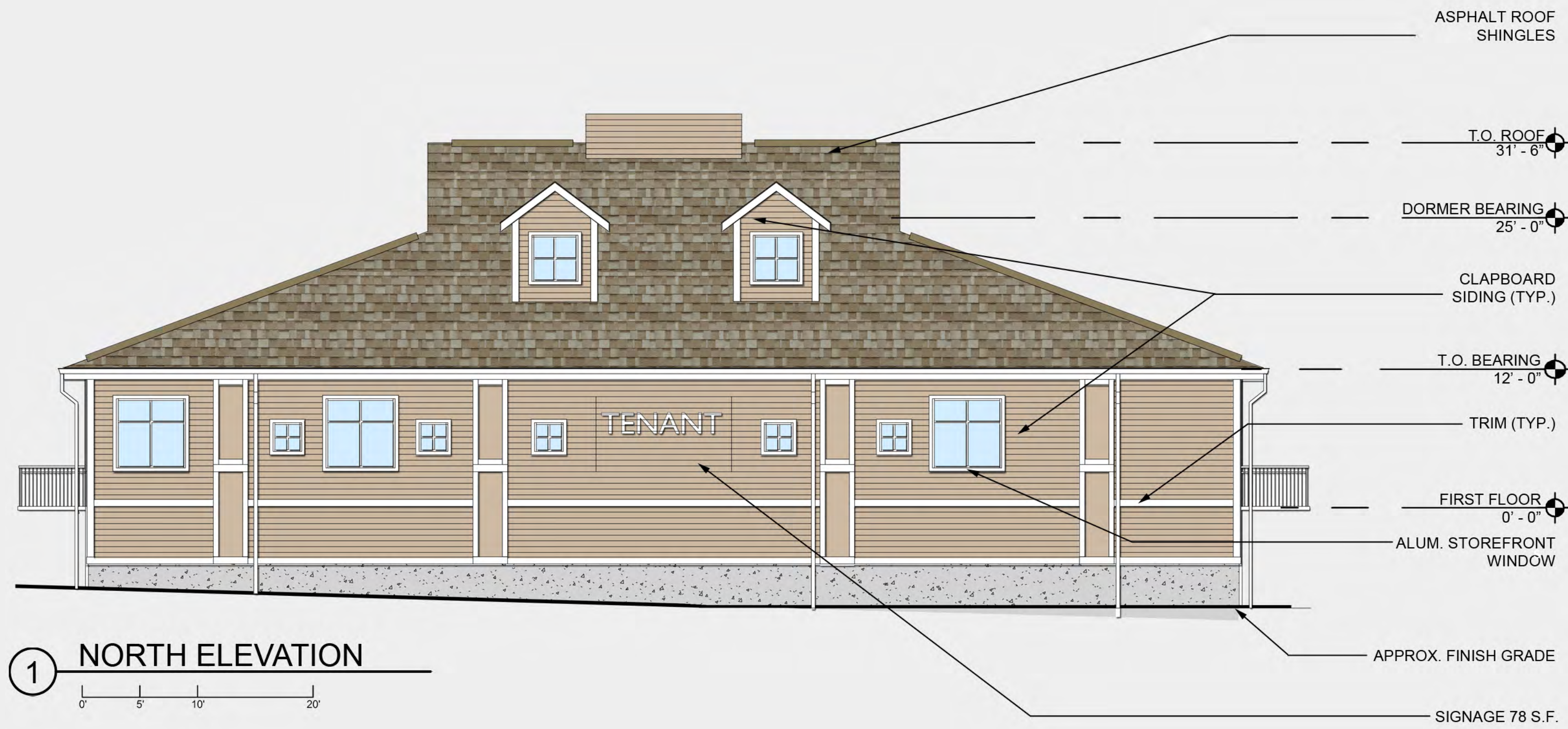
# Photometric Study - EYE LEDioc

Hampton Place - South Kingstown RI



Luminaire Schedule											
Symbol	Qty	Label	Description	IES Class	Arrangement	Arm	MH	LLF	Lum. Lumens	Lum. Watts	Total Watts
	10	A-SNGL EYE	EYE Lighting LEDioc	Type III	SINGLE	0	12'	0.850	5695	57	570
	2	A-DUAL EYE	EYE Lighting LEDioc	Type III	BACK-BACK	1.5	8'	0.850	5695	57	228
	6	A-EX	Existing Quattro OP3-175MH	Type III	SINGLE	0	17'	0.700	6686	175	1050
	36	C	Recessed Canopy Light LF8N-2/26DTT	Type I	SINGLE	0	17'	0.750	794	62	2232
	31	W	Wall Sconce - OW1294	Type IV	SINGLE	0	17'	0.800	1060	65	2015

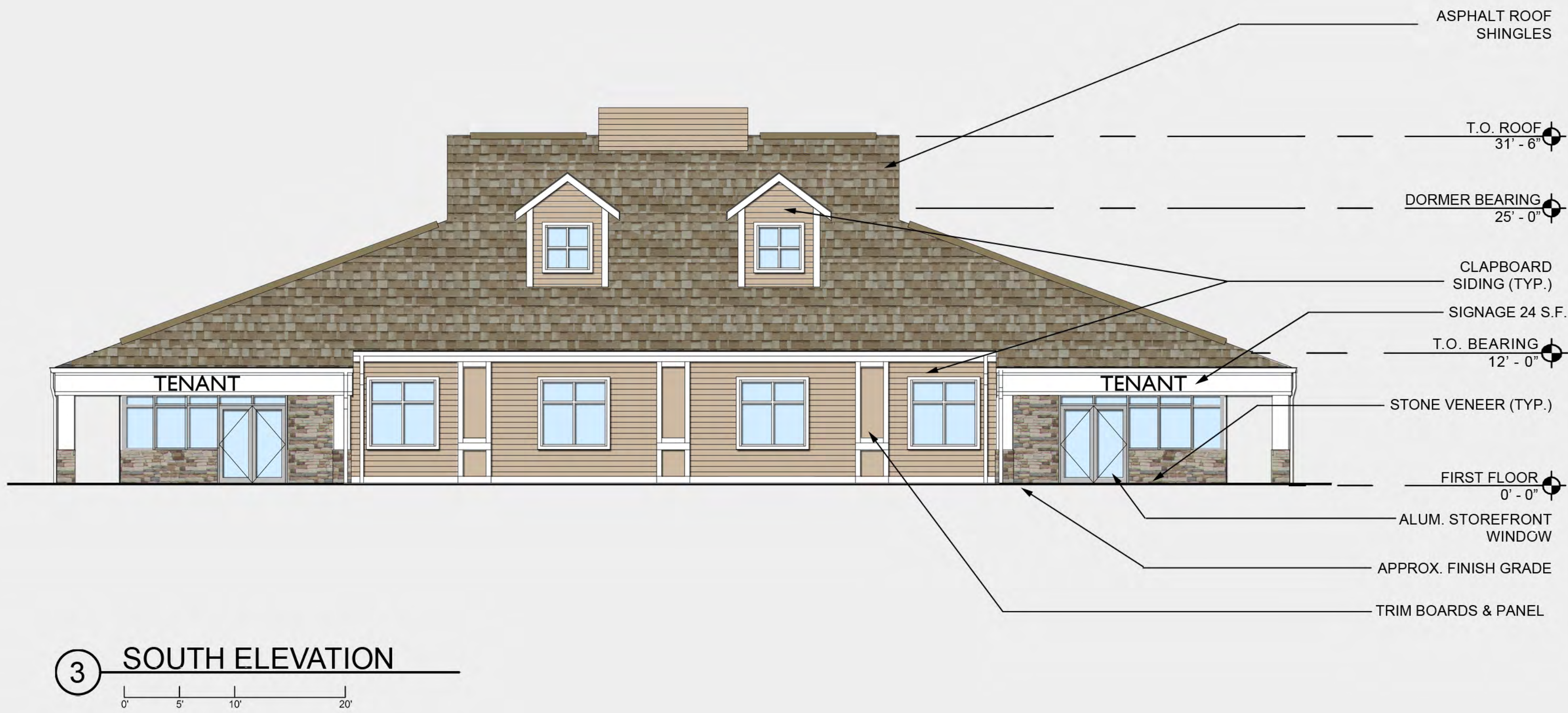
Calculation Summary						
Label	CalcType	Units	Avg	Max	Min	Max/Min
Parking - Overall	Illuminance	Fc	0.94	12.5	0.1	125.00
Parking A	Illuminance	Fc	0.66	2.5	0.2	12.50
Parking B	Illuminance	Fc	0.78	1.6	0.3	5.33
Parking C	Illuminance	Fc	0.99	3.1	0.3	10.33



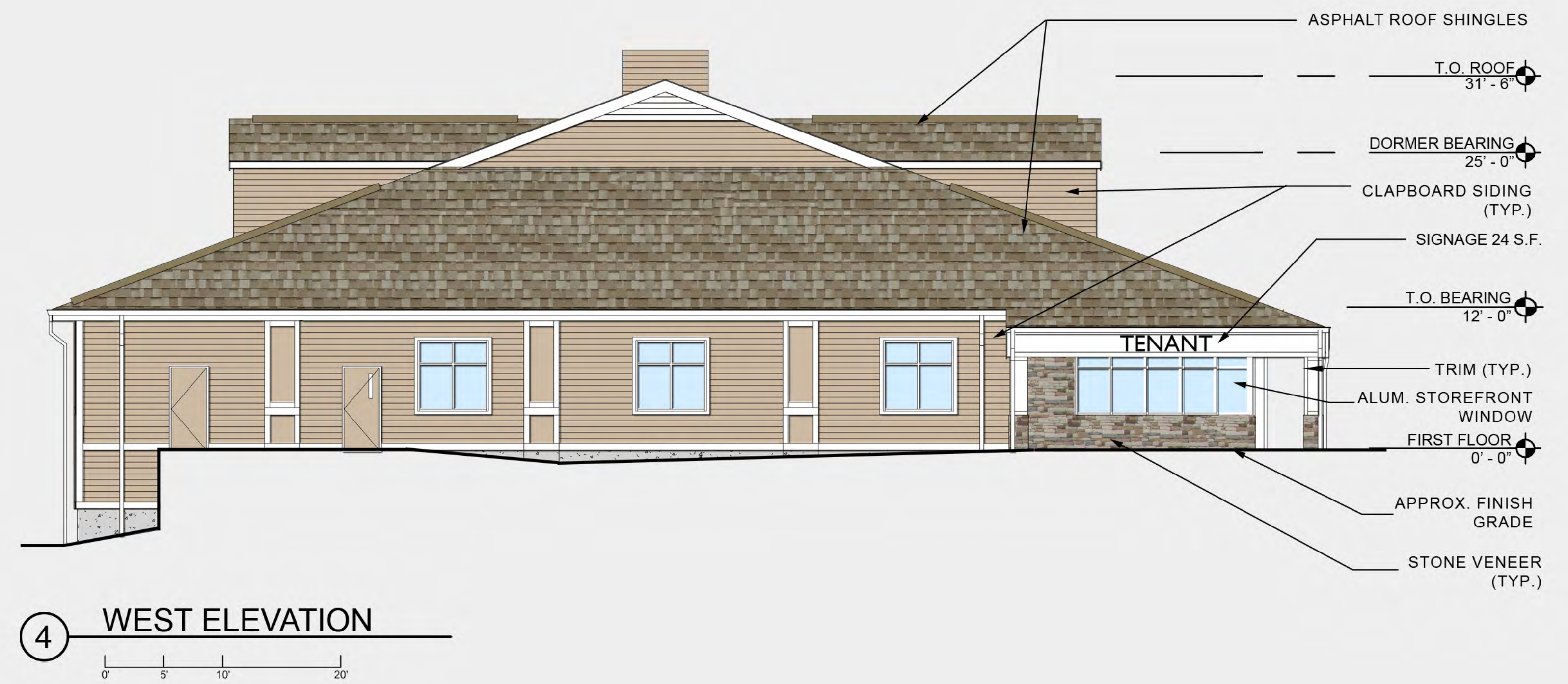
1 NORTH ELEVATION



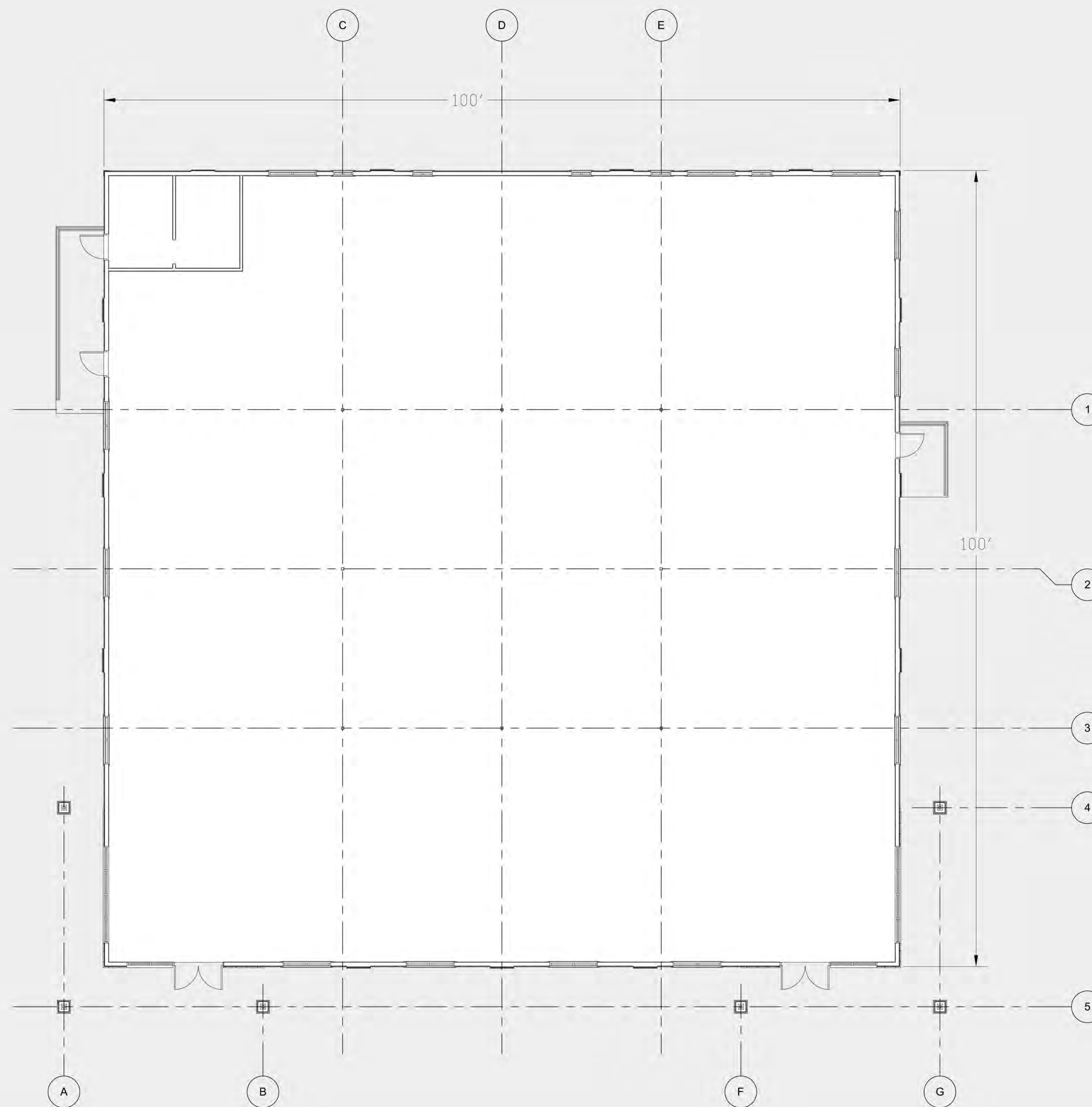
2 EAST ELEVATION



3 SOUTH ELEVATION



4 WEST ELEVATION



First Floor Plan  